	CITY OF MERCER ISLAND	INSPECTION REQUESTS:		
-	Community Planning & Development 9611 SE 36TH STREET MERCER ISLAND, WA 98040 PHONE: 206.275.7605 www.mercerisland.gov	online: MyBuildingPermit.com		
	MICPIAN	voicemail: (206) 275-7730		
	NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO	PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56		
	CONTACT INFORMATION:			
AN	Applicant is to complete the following information. Applicant Contact information <i>prior</i> to permit issuance:	Applicant Contact information post permit issuance:		
APPLICANT	Name: ROBIN QUINN, BOARD AND VELLUM	Name: ROBIN QUINN, BOARD AND VELLUM		
API	Address: 115 15TH AVE E STE 100, SEATTLE WA 981	112 Address: 115 15TH AVE E STE 100, SEATTLE WA 98112		
β	Phone: (206) 707-8895	Phone: (206) 707-8895		
COMPLETED BY	Email: robin@boardandvellum.com	Email: robin@boardandvellum.com		
M	REQUIRED SPECIAL INSPECTIONS / STRUC	TURAL OBSERVATIONS:		
TO BE CC	It is the Expiner of Record's responsibility to specify all required Special Inspections or Structural Observation (check terms below). The owner is responsible for hing an approved physics special Inspectors for the checked Inspections noted below. All Special Inspectors (except Gottechnical) must be WABO certified. When Special Inspection or Structural Observation is required, the report shall be submitted to the City Building Inspector prior to the City Inspectors. Note: Inspection by the City Inspector is required, the report shall be submitted to the City Building Inspector prior to the City Inspector. Note: Inspection by the City Inspector is required in addition to the Special Inspection or Structural Observation Indicated below. Do not occur or canceal any work prior to the City Inspection.			
	STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR) Engineer of Record: Col	R): mpany:Phone:		
	General Conformance to Construction Documents	mpany:Phone:		
	SOILS / GEOTECHNICAL:			
	Erosion control measures	pmpany:Phone: Subsurface drainage placement		
	Shoring installation and monitoring Observe and monitor excavation	Verify fill material and compaction Rockery installation		
	Verification of soil bearing Other:	Pile placement (auger cast/driven pile) Other:		
	REINFORCED CONCRETE:			
	Special Inspector:Con Concrete strength	Phone:		
	Reinforcing steel and concrete placement Shotcrete placement	Prestressed / Precast construction Other:		
	Other:	Other:		
	Special Inspector: Control Con	ompany:Phone:		
	Fabrication and shop welds Structural steel erection, field welds and bolting	Moment Frame construction Other:		
	Other:	Other:		
	STRUCTURAL MASONRY: Special Inspector:Cor	ompany: Phone:		
	Mortar strength Masonry unit strength	Glass unit masonry installation		
	Other:	Other:		
	Other:	Other:		
	Special Inspector /	mpany: Phone:		
	Lateral resisting system construction	High strength diaphragm construction		
	Other:	Other:		
	OTHER SPECIAL INSPECTIONS: Special Inspector:Coi	pmpany:Phone:		
	Epoxy grout installations Expansion anchor installations	Stucco installation Infiltration System		
	Other post installed anchors	Infiltration System Exterior Insulation Finish System (EIFS) installation		
	Alternative construction methods: Alternative construction materials:	Other: Other: Other:		
	DEFERRED SUBMITTALS: The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.			
	Connector plate wood trusses	Post tension layout		
ļ	Metal joist / metal trusses Premanufactured structures (stairs, etc.)	Exterior cladding Window wall / curtain wall construction		
⊢	Precast concrete elements Other:	Other:		
ENERGY CODE COMPLIANCE INFORMATION:		ON:		
ЪГ	Indicate where the following information is located in the drawi Prescriptive Compliance (RECPC) Form into the drawing set.	ing set. Alternatively, incorporate or include the Residential Energy Code		
APPL	Sheet:			
BY	Building envelope: WSEC THERE 402.2.1 G1.01	Air Leakage Testing. In: Section PAGE 4.1.2 1054 American		
LETED BY	(include U-factors, insulation and moisture control) Whole house ventilation: INC Second MISSO WA Averaged G1.01	Provide air leakage test report verifying air leakage rate does not to exceed 5 air changes per hour.		
FE	(include ventilation option and duct sizing if applicable) C Energy Credit Information: wstc rose add. G1.01	Duct Leakage Testing. WSC (NUS2.2)		
COMPL	(include specific, written requirements) ✓ RECPC Form Information: G1.01	Rough-in Test. WISC PROJECTS		
BE C((if incorporated within drawing set) http://www.merupy.org/file/3023/solderid/berg/cic/orm.pdf	-		
B				

6 n of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior Å BY approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including: COMPLETED BE COMPLETED Site Considerations ROW restrictions
 Drainage Requirements Additional Fire Code Requirements Hours of Work
 Onstruction Vehicle Parking Restrictions
 Sewer Requirements Planning Requirements Noise Abatement Certification Construction Vehicle Parking Restrictions • Sewer Requirements • Noise Abatement Certification Acess Road Requirements • Water Service Requirements • Tree Requirements Refer to "Preconstruction Meeting Checkist" provided at the preconstruction meeting for development related requirements. Temporary is address with minimum of "high numbers visible from the street must be installed. Erosion control messures must be as shown on approved project drawings. All erosion control is to be in place and inspected BE A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information. 0 w Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project. M no trees shall be cut without a City to inserter shall be perfined. The placement there must be a minimum of is kit est at installation. They must be planted and approved prior to final inspection. ☐ For this project, [VA _____ trees are authorized to be removed and replaced with [VA _____] trees. ☐ This project appears to be within a protected eagle most area. Contract fixed with [VA ____] trees. website at http://www.fws.gov/pacif eparate Permits are required for ALL fire protection systems. For more information, see http://www.mercergov.org/Pag Fire Sprinkler Monitored Household NFPA 13D Fire Alarm per NFPA 72 Plus
 Plus
 NFPA 13R
 NFPA 13 Monitored Sprinkler Water Flow Alarm Approved Fire Code Alternatives: FCA3_ FCA1____ ECA2 FCA4_ Fire sprinkler design calculations must be provided prior to determining water supply system requirements.
 Water Supply system upgrade required City Installation. Required Service Line Size: N/A Required Supply Line Size: N/A Required Meter Size: N/A (water main to meter) (water main to house) (water main to meter) ↓ Chandromment of existing service and meter required at main. ↓ Pressure reducing valve required if pressure exceeds 80 psi. ↓ M Reduced pressure backfow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells 6 đ ž or lake irrigation). β Additional water supply requirements ۵ TFD I On site detention system required.
On site infiltration system required.
As-built Utility drawings required. Direct discharge into the lake._____
 No Storm Water permit required._____
 Connection to public storm drainage conveyance system req'd. OMPI OMPI Full Size drawings required. Other: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowert to lower than the elevation of the upstream manbole rim or when side sewer is shared with one or more properties
 Video tape of existing sewer required (see standard details)
 New connection. Connect to existing. Disconnect normality of the result of the resu В 2 Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is ē Disconnect permit required.
Reconnect permit required. Mercer Island Maintenance Department at (206) 275-7800. Code alternatives must be Inspected. Refer to the Inspection Checklist CA1: CA2: Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation Inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy. Surveyor Phone: Building height survey _____
Building setback survey _____
Impervious surface survey _____ Other: MAXIMUM 40 PERCENT ALTERATION INSPECTION: MCTRAMANUMENT
 A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730.

Civil / Drainage

LUP / Setback requirements and clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver. Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of 5 report and other geotechnical information must be kept on site at all times. Ģ Controlog 2 COMPLETED BY SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Seelogic Hazard area). Grading not permitted between October 1 through April 1.
Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development E Limitation Waiver Permit. COMPL Permit number Approved by Data

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BY CPD	www.MyBuildingPermit.com or by calling the Inspect	TIONS: hedule ALL inspections appropriate for the project. Request inspections online at ion Holline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel) or d inspection	**	
BE COMPLETED	In advance of estimatin spectron, see specific as to type Inspector shall initial and date appropriate inspect applicants responsibility to apply for and obtain all INSPECTIONS: (Listed in order of typical sequencing) Impector Date Approvid	on only if approved. Note: Items marked with an "+" require a separate permit. It is the	S	PERMIT NUMBER
co	Pre-construction Meeting to	Review Conditions of Permit Approval.		ERM
BE	Erosion control	applicable, separate side-sewer permit required		<u>م</u> ل
TO	Right-of-way use or work / ea	asement, material delivery, etc. If applicable,		
	separate ROW permit require Land clearing, grading and de		ee C	
	Temporary power Temporary power Pilings / Shoring / Shotcrete.	If applicable, provide survey letter	AN	Date
	(property line); Geotechnical reports of inspections (pile ar	Engineer / Special Inspector	ed. In P	
	Footings, setbacks, UFER grou	und. If applicable, provide survey letter): Special Inspector reports of Inspections	ectio Provi	
	(soil bearing capacity, compa	ction, earthwork, pile installation, etc.)	insp insp	
	Eoundation walls / concrete of Roof and footing drains	columns	ERTIFICATE OF OCCUPANC Issued after all required inspections have been performed and approved.	
	Foundation damproofing	it not limited to):	orm of the	
	Connections to storm main in ROW	Area drains Conveyance piping / cleanouts	er al	
	Detention systems	Storm drain in ROW	d aft	
	Infiltration systems Catch basins including	Control structures / manholes Pump systems	ER.	Approved
		Retaining wall drainage	Ū	Apy
	Water Supply Water as-built drawings		1	1
	Side sewer installation, include	ling (but not limited to):		
	Connections to side sewer main	Back-flow valves Grinder pump systems		
	Connections to existing side sewer	Sewer manholes		
	Driveway / Access road	nical / nlumbing	ш	
	Underslab insulation / vapor	barrier / reinforcing	υ	
0	Underfloor framing Underfloor framing Nailing-Roof sheathing. If app	licable, provide Special Inspection	Z	
5	letter for lateral wood inspec	tion. arwall. If applicable, provide Special	ш	
B	Inspection letter for lateral w Rough hydronic installation	aod inspection.		
E	Rough electric installation Rough fire alarm (wiring insp		<u></u>	
PLE	Cough fire alarm (wiring insp Cough fire alarm (wiring insp Cough plumbing installation i	ection) (DWV, water)	Щ	
TO BE COMPLETED BY CPD	Comparison Comparison		GRIMA - FAHRER RESIDENCE	4008 90TH AVE SE
EC	Comparison of the second	atic and flow (bucket) test able, provide Special Inspection letter for	2	S
0	lateral wood inspection, weld	ling epoxy anchors, etc.	Ξ	ш
-	Insulation installation	ce / wais / veneer / etc.)	2	>
	Shower pan (or tub)		Ę	•
	Miscellaneous			I
	Code Alternative CA2:	a)		Ē
				0
		ion, including (but not limited to):	2	S
	Sprinkler Access Road	Fuel Tank Installation Fire Extinguishing System	2	8
	Fire Code Alternatives (see Fire Code Alternatives (see Fire Code Alternatives (see	• Fire Alarm System		2
	FCA2:	FCA3:	Ū	4
	backflow devices for:	ly protection, including (but not limited to) TW	•	
	Waterfront property Fire / lawn sprinkler	Well water on property Boiler	Ե	ROJECT DDRESS:
	Final Inspection: Site and util restoration complete and as-	ity: includes landscape, utilities and ROW. Site TS built drawings ready for submittal.	빌린	빌문
	Final Inspection: Building, inc	Luding electrical / mechanical / plumbing. If TB (summary) letters from Engineer, Special	58 28	22
		ineer, and exterior wall cladding inspectors (EIFS).	٩Z	₽₹
	90 DAY TEMPORARY CERTIFICATE (DF OCCUPANCY (TCO): must be approved prior to occupancy. TCO requires tree plantings be completed.	۲. ۲. (۲. (۲. (۲. (۲. (۲. (۲. (۲. (۲. (۲. (1
	Applicant option. Additional rees will be required and	must be approved phon to occupancy. Teo requires tree plantings be completed.	BE KEPI L TIMES	
	Approved	Start Date End Date		
0	ADDITIONAL REQUIRED CITY INCRE	CTIONS:		Date
СРD	Call the appropriate contact to arrange the inspection	a. Contact: Phone: Scheduling:	S M	
BY (Required Inspection(s):		S IS	
TED	<u> </u>		AN	
PLE			법	
N	IMPACT FEES: If applicable.	PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents.		
BE COMPLETED	Impact fees apply and are due prior to Final		APPROVED DRAWINGS MUST BE KEP ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCI	P
TO B	, whichever occurs fi	rstJHRHEngineeringTreeFire	API N	hprow
۴.	Date	Building Planning Engineering Tree Fire REVISED: IULY 2019		

FILE NAME: CPD CVR 24x36.PDF

GRIMA - FAHRER RESIDENCE

BUILDING PERMIT SET - JUNE 12TH, 2023



PERMIT NO: PROJECT ADDRESS: ASSESSOR PARCEL NO LEGAL DESCRIPTION

PROJECT DESCRIPTION:

VICINITY MAP



G0.01 G0.02 G1.01

A1.11

A1.12 A2.11 A2.12 A2.22 A2.23

S2.2

WI

PROJECT TEAM OWNER: CONTACT: SURIYA GRIMA AND NATHAN FAHRER

ARCHITECT: BOARD & VELLUM

STRUCTURAL ENGINEER:

CONTRACTOR:

PROJECT INFORMATION

4008 90TH AVE SE MERCER ISLAND, WA 98040

806230-0080

LOT 16, STUCKEY'S FIRST ADDITION, ACCORDING TO THE PLAT THEROF RECOREDED IN VOLUME 53 OF PLATS, PAGE 94, IN KING COUNTY, WASHINGTON.

INTERIOR REMODEL, COVERED PATIO ADDITION, AND REAR SITE WORK

DRAWING INDEX

COVER SHEET & GENERAL INFORMATION
PROJECT STANDARDS & CONTRACT NOTES
BUILDING / ENERGY CODE SUMMARY

SURVEY

SITE PLAN	
SITE DIAGRAMS	

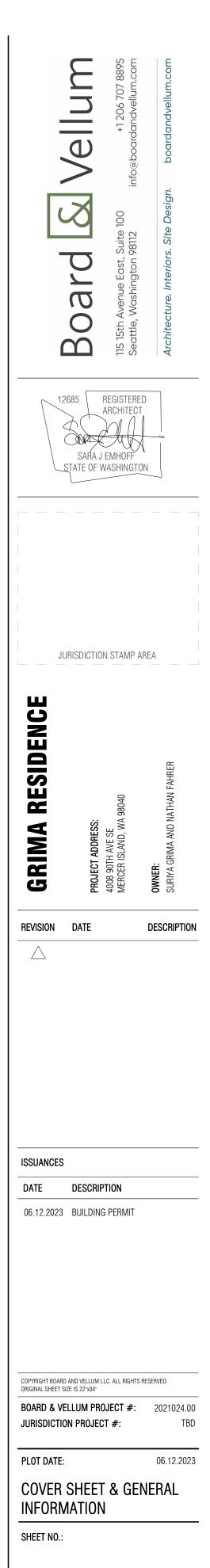
FIRST FLOOR - DEMOLITION PLAN
SECOND FLOOR - DEMOLITION PLAN
FIRST FLOOR - PROPOSED PLAN
SECOND FLOOR - PROPOSED PLAN
PROPOSED EXTERIOR ELEVATIONS
PROPOSED EXTERIOR ELEVATIONS
PROPOSED BUILDING SECTIONS
NDOW / DOOR SCHEDULES + ASSEMBLIES

GENERAL STRUCTURAL NOTES FIRST FLOOR FRAMING & FOUNDATION PLAN SECOND FLOOR FRAMING PLAN ROOF FRAMING PLAN TYPICAL DETAILS

A GRIMA AND NATHAN FAHRER
4008 90TH AVE SE
MERCER ISLAND, WA 98040
t: 206.359.3815
nfahrer@perkinscoie.com
shgrima@gmail.com
VI ARCHITECTURE AND DESIGN
CONTACT: ROBIN QUINN
115 15TH AVE E. SUITE 100
SEATTLE, WA 98112
t: 206.707.8895
robin@boardandvellum.com
www.boardandvellum.com
SWENSON SAY FAGET

SWENSON SAY FAGET NTACT: RYAN ANDERSON, PE 2124 THIRD AVE. SUITE 100 SEATTLE, WA 98121 t: 206.443.3112	A3.11 A3.12 A4.11 A9.11
randerson@ssfengineers.com	S1.1
BAKSTAD CONSTRUCTION	S2.1

CONTACT: DALEN BAKSTAD 4701 SW ADMIRAL WAY #249 SEATTLE, WA 98116 S2.3 dalen@bakstadconstruction.com S3.1





ABBREVIATIONS

@	AT
AB	ANCHOR BOLT
ABV	ABOVE
AC	AIR CONDITIONING
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
ANCH	ANCHOR
APPROX	APPROXIMATE (LY)
ARCH	ARCHITECT (URAL)
AW	AWNING
BF	BOTTOM FLUSH
BLDG	BUILDING
BM	BEAM
BOT	BOTTOM
BRG	BEARING
BTWN	BETWEEN
C	CASEMENT
CB	CATCH BASIN
CFM	CUBIC FEET PER MINUTE
CJ	CEILING JOIST
CLG	CEILING
CLR	CLEAR
CNTR	CENTER
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONTR	CONTINUOUS
CONTR	CONTRACTOR
COORD	COORDINATE
D	DRYER
DB	DROP BEAM
DEMO	DEMOLITION
DHW	DOMESTIC HOT WATER HEATER
DIA	DIAMETER
DIM	DIMENSION
DL	DEAD LOAD
DN	DOWN
DRY	DRYER
DS	DOWNSPOUT
DW	DISHWASHER
DWG	DRAWING
EW E EG ELEC EM EQ EQUIP EXH EXIST EXP EXT	EACH WAY EXISTING EACH EGRESS ELECTRICAL ELECTRIC METER EQUAL EQUIPMENT EXHAUST EXISTING EXPANSION EXTERIOR
FD	FLOOR DRAIN
FDN	FOUNDATION
FIN	FINISH
FJ	FLOOR JOIST
FL	FLOOR
FO	FACE OF
FURR	FURRING
FT	FOOT
FTG	FOOTING
FURN	FURNACE
GA	GAUGE, GAGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GEN	GENERAL
GL	GLASS
GM	GAS METER
GR	GRADE
GWB	GYPSUM WALL BOARD
HB	HOSE BIB
HC	HOLLOW CORE
HDR	HEADER
HDW	HARDWARE
HORIZ	HORIZONTAL
HR	HOUR (FIRE RESISTANT RATING)
HT	HEIGHT
HVAC	HEATING, VENTILATION & AC
ig	INSULATED GLASS
In	INCH
Incl	INCLUDING
Info	INFORMATION
Insul	INSULATING, INSULATION
Int	INTERIOR
Isg	INSULATED SAFETY GLASS
JT	JOINT
KD	KILN DRIED
KP	KING POST
LAM	LAMINATED(D)
LAV	LAVATORY

DRAWING SYMBOL KEY

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S

WH

DB

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CHIME O

110V 4-PLEX OUTLET

FLOOR OUTLET (OTHER)

COM JACK T = TELEPHONEC = CABLE $\mathsf{D}=\mathsf{DATA}$

WALL OUTLET (SWITCHED)

SINGLE POLE SWITCH D = DIMMERJ = JAMBM = MOTIONT = TIMER

3 = 3-WAY SWITCH

4 = 4-WAY SWITCH

CEILING / WALL SPEAKER

THERMOSTAT

WALL HEATER

DOOR BELL

DOOR CHIME

FLOOR DUPLEX OUTLET (GFI)

_B _L _T _TG _VR _VR _T WT _VL	LAG BOLT LIVE LOAD LIGHT LIGHTING LOUVER LIGHT WEIGHT MICROLAM LAMINATED VENEER LUMBER
Max	MAXIMUM
Mech	MECHANICAL
Med	MEDIUM
Mfr	MANUFACTURER
Min	MINIMUM
Misc	MISCELLANEOUS
Mtl	METAL
WW	MICROWAVE
NEC	NECESSARY
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
D/	OVER
DD	OUTSIDE DIAMETER
DC	ON CENTER
DFCI	OWNER FURNISHED CONSTRACTOR INSTALLED
DFOI	OWNER FURNISHED OWNER INSTALLED
DH	OVERHEAD
DPP	OPPOSITE
DV	OVEN
PC	PIPE COLUMN
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PSL	PARALLEL STRAND LUMBER
PT	POINT
PT	PRESSURE TREATED
PTD	PAINTED
PWR	POWER
QTY	QUALITY
QUANT	QUANTITY
R REINF REQ'D REF REV RF RFG RM RO	RANGE ROOF DRAIN REINFORCING REQUIRED REFRIGERATOR REVISION ROOF ROOFING ROOM ROUGH OPENING
S SAF SC SCH SCHED SECT SF SG SH SIM SIM SIM SIM SI SPFC SQ SQ FT SS S&R STD STL STRUCT SYM	SINK SELF-ADHERED FLASHING SOLID CORE SCHEDULE SCHEDULE SECTION SQUARE FOOT SAFETY GLAZING SINGLE HUNG SIMILAR SLIDING WINDOW OR DOOR SPECIFICATION SPRUCE, PINE, FIR SQUARE SQUARE SQUARE FOOT STAINLESS STEEL SHELF AND ROD STANDARD STEEL STRUCTURAL SYMMETRICAL
TBD	TO BE DETERMINED
TF	TOP FLUSH
T&G	TONGUE AND GROOVE
TEMP	TEMPORARY, TEMPERATURE
THK	THICK
TO	TOP OF
TOG	TOGETHER
TYP	TYPICAL
JNO	UNLESS NOTED OTHERWISE
/AR	VARIES
/ENT	VENTILATION
/ERT	VERTICAL
/G	VERTICAL GRAIN
/IF	VERIFY IN FIELD
N N/O NASH N/D NM NS NWM	WASHER WITH WITHOUT CLOTHES WASHER WARMING & DRYER WATER METER WIRE SHELVING WELDED WIRE MESH NUMBER OF POUND(S)

#

			WING TITLE
	NORTH ARROW	()	NG SCALE VIEW TITLE
X SIM	<u>BUILDING ELEVATION</u> DRAWING NUMBER SHEET NUMBER	+ 144.25' +146.67 (E)	SITE POINT ELEVATION
X SIM		FLOOR LEVEL ELEV: 121'-6"	FLOOR ELEVATION DATUM
XX XXX	INTERIOR ELEVATION DRAWING NUMBER SHEET NUMBER	+ 8' - 0" AFF	SPOT ELEVATION DATUM
X SIM	<u>Building Section</u> Drawing Number Sheet Number	<u></u> W.#	REVISION TAG WALL/FLOOR/ROOF
		<u></u>	ASSEMBLY TYPE TAG
X SIM	<u>WALL SECTION</u> DRAWING NUMBER SHEET NUMBER	нв †	HOSE BIBB
SIM		F 50 CFM	EXHAUST FAN AIR FLOW RATE
	DETAIL REFERENCE DRAWING NUMBER SHEET NUMBER	RAMP UP	RAMP UP/DOWN PERCENT SLOPE
	,	2%	DECK SLOPE TO DRAIN
X SIM	<u>STRUCTURAL DETAIL</u> DRAWING NUMBER SHEET NUMBER	9" / 12"	CEILING/ROOF SLOPE RISE / RUN
		SD	SMOKE DETECTOR
X SIM	<u>ARCHITECTURAL DETAIL</u> DRAWING NUMBER SHEET NUMBER	CD	CARBON MONOXIDE ALARM
	CUT MARK		COMBO SMOKE/CARBON MONOXIDE DETECTOR
Q	CENTERLINE		CLOTHES ROD AND SHELF
(X)	GRID LINE	12 6	ROOF PITCH
ELECTR	ICAL SYMBOL KE		
π _{GFI}	V DUPLEX OUTLET = GROUND FAULT INTERRUPTER	-¢- FLU	SH / SEMI-FLUSH FIXTURE
220	T = EXTERIOR V OUTLET	⊕ WAI	L-MOUNTED FIXTURE

-ф-	FLUSH / SEMI-FLUSH FIXTURE
Φ	WALL-MOUNTED FIXTURE
Φ	PENDANT FIXTURE
\bigotimes	RECESSED CEILING FIXTURE
\bigotimes	RECESSED DIRECTIONAL FIXTURE
₩	SITE LIGHTING FIXTURE
R	TRACK LIGHTING FIXTURE
$\rightarrow \rightarrow \leftarrow$	UNDERCABINET LIGHT FIXTURE
ı	SURFACE MOUNT STRIP FIXTURE
K	CORNER STRIP FIXTURE
	CEILING MOUNTED FAN W/ OPTIONAL LIGHTING KIT

ELECTRICAL WIRING

- DESIGN CONSULTANTS, AS REQUIRED.
- DRAWINGS.

- AUTHORITY.
- FIELD MEASUREMENTS AS NECESSARY.
- DRAWN IN FULL.
- SOUND, WATER AND AIR PROOFED, DURABLE PROJECT.
- HAVING AUTHORITY.

EXCEPTIONS:

- APPROXIMATE AND FOR REFERENCE ONLY.

FINISHES KEY

NOTE: NOT ALL TYPES ARE USED IN THIS PROJECT. X = ITEMIZED DESCRIPTOR (NUMBER ONLY)

CARPET CP-X	
FABRIC FB-X	
GLASS GL-X	
METAL (MT-X)	

PLASTIC LAMINATE	
(PL-X)	

PAINT PT-X

RESILIENT FLOORING RF-X

CONTRACT GENERAL NOTES

1. GENERAL CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION SITE MEETING WITH OWNER, ARCHITECT AND OTHER GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADE CONDITIONS AND HEIGHT LIMITS WITH ARCHITECT ON SITE PRIOR TO BEGINNING OF WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN THE SITE SURVEY AND/OR OTHER

PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODES, REGULATIONS, OR RULES OF JURISDICTIONS HAVING

4. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, AND SITE CONDITIONS, INCLUDING TAKING AND VERIFYING

5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, EXCEPT FOR THE GENERAL BUILDING PERMIT. 6. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY

7. REPETITIVE FEATURES NOT INDICATED IN THE DRAWINGS EVERYWHERE THAT THEY OCCUR SHALL BE PROVIDED AS IF

8. SEE SPECIFICATIONS BOOK FOR REQUIRED SHOP DRAWINGS. GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO ARCHITECT; AFTER ARCHITECT'S REVIEW, TO GOVERNING AUTHORITY. 9. THE INTENT OF ARCHITECTURAL DRAWINGS, DETAILS AND SPECIFICATIONS IS TO SHOW DESIGN APPROACH. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND BAILIWICK TO PROPERLY INSTALL AND EXECUTE A STRUCTURALLY

10. COORDINATE ALL EXTERIOR PENETRATIONS WITH ARCHITECT PRIOR TO PERFORMING WORK. 11. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE 2015 SEATTLE RESIDENTIAL CODE, THE WASHINGTON STATE ENERGY CODE, AND OTHER APPLICABLE CODES, RULES, AND REGULATIONS OF JURISDICTIONS

12. EXTERIOR GLAZING TO BE NFRC LABELED PER 2015 WSEC R303.1.3. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW. THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH-DIAMETER SPHERE CANNOT PASS.

a) WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4-INCH-DIAMETER SPHERE TO PASS THROUGH. b) OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2090.

CONTRACT DIMENSION NOTES

1. DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS, PRIOR TO PROCEEDING WITH WORK. AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND DOORS, UNLESS NOTED OTHERWISE. AT EXISTING CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF MATERIALS, UNLESS NOTED OTHERWISE.

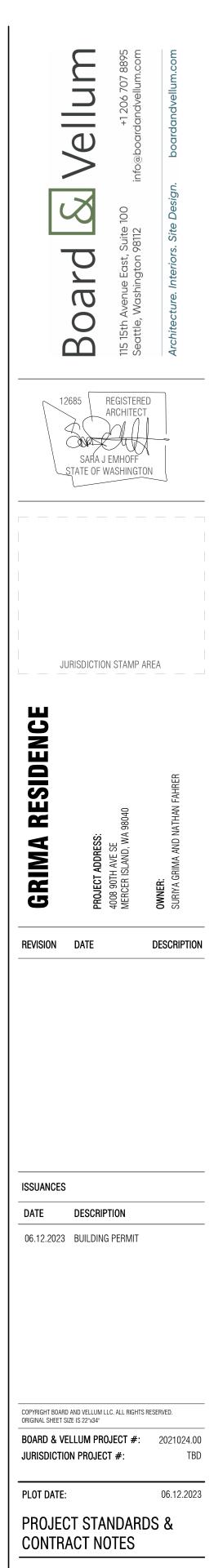
4. SITE PLAN DIMENSIONS UNACCOMPANIED BY A LICENSED SURVEY IN THE POSTED DRAWING SET ARE CONSIDERED 5. GRAPHIC SCALES ARE PROVIDED FOR REFERENCE ONLY. WHERE DRAWINGS OF DIFFERENT SCALES ARE PROVIDED ON

THE SAME SHEET, GRAPHIC SCALES ARE REMOVED FOR CLARITY. 6. DIMENSIONS WITH ACCOMPANYING TEXT (E.G. CLEAR, HOLD, EQUAL) SHALL BE VERIFIED IN FIELD. ANY CHANGES TO THESE DIMENSIONS REQUIRE APPROVAL BY ARCHITECT.

SCHEDULES KEY

NOTE: NOT ALL TYPES ARE USED IN THIS PROJECT. X = ITEMIZED DESCRIPTOR (LETTER OR NUMBER)() = REFERENCE PROJECT MANUAL DIVISION

SPECIALTY FINISH	EGSG	EG = EGRESS SG = TEMPERED	WINDOW TAG
	XXX		DOOR TAG
SOLID SURFACE	SVG XX	SALVAGE TAG	(DIVISION 2)
	L-XX	LIGHTING TAG	(DIVISION 26)
STONE ST-X	(P-XX)	PLUMBING TAG	(DIVISION 22)
	SPC-X	SPECIALTY TAG	(RESERVED)
TILE TL-X	FUR-X	FURNISHINGS TAG	(DIVISION 12)
	EQP-X	EQUIPMENT & APPLIANCE TAG	(DIVISION 11)
WOOD WD-X	(BAC-X)	(BATH) ACCESSORY TAG	(DIVISION 10)
	(DAC-X)	(DECORATIVE) ACCESSORY TAG	(DIVISION 10)
WALLCOVERING	(HWC-X)	(CABINET) HARDWARE TAG	(DIVISION 6)
	$\langle HWD-X \rangle$	(DOOR) HARDWARE TAG	(DIVISION 8)
	(HWW-X)	(WINDOW) HARDWARE TAG	(DIVISION 8)



SHEET NO .:



ENERGY CODE REQUIREMENTS

REFERENCE: 2018 WASHINGTON STATE ENERGY CODE R401.3 COMPLIANCE CERTIFICATE: A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC 401.3 IS REQUIRED TO BE COMPLETED BY A DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.

TABLE R402.1.1 INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT FOR CLIMATE ZONE MARINE 4

FENESTRATION U-FACTOR
SKYLIGHT U-FACTOR
CEILING R-VALUE
VAULTED CEILING R-VALUE
WOOD FRAMED WALL R-VALUE
BELOW-GRADE WALL R-VALUE
FLOOR R-VALUE
SLAB ON GRADE R-VALUE & DEPTH

0.30 0.50 R-49¹ R-381 R-21 INT **10/15/21 + TB R-30 ***R-10 , 2 FT

INT - (INTERMEDIATE FRAMING) DENOTES STANDARD FRAMING 16 INCHES ON CENTER WITH HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

** "10/15/21 + TB" MEANS R-10 CONTINUOUS INSULATION ON THE EXTERIOR OF THE WALL, OR R-15 CONTINUOUS INSULATION ON THE INTERIOR OF THE WALL, OR R-21 CAVITY INSULATION PLUS A THERMAL BREAK BETWEEN THE SLAB AND THE BASEMENT WALL AT THE INTERIOR OF THE BASEMENT WALL. "10/15/21 + TB" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE WALL. "TB" MEANS THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL.

*** R-10 CONTINUOUS INSULATION IS REQUIRED UNDER HEATED SLAB (I.E. RADIANT FLOOR HEATED) ON GRADE FLOORS.

¹ IF ADVANCED FRAMING ALLOWS FULL DEPTH ACROSS ENTIRE SURFACE R-38 IS ACCEPTABLE. INSTALL R-49 IF INSULATION IS REDUCED AROUND CEILING PERIMETER

R402.4 BUILDING AIR LEAKAGE AND TESTING AN AIR LEAKAGE RATE BELOW 5 AIR CHANGES PER HOUR.

R403.1 CONTROLS EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE

R403.3 DUCTS

 DUCTWORK IN UNCONDITIONED SPACES SHALL BE INSULATED WITH R-8 INSULATION, MINIMUM • DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION.

R404.1 LIGHTING: MINIMUM 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

R406.2 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS - CREDIT SELECTION: N/A

VENTILATION & EXHAUST NOTES

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE SECTIONS M1503, & M1505 RANGE HOOD

- 1. DOMESTIC COOKING EXHAUST EQUIPMENT SHALL DISCHARGE TO THE OUTDOORS THROUGH A DUCT. THE DUCT SHALL HAVE A SMOOTH INTERIOR SURFACE, BE AIR TIGHT, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS PER SECTION M1503.3.
- 2. VENT SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE 1505.4.4. 3. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR
- AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT FEWER THAN ONE DAMPER COMPLYING WITH SECTION M1503.6.2.

MECHANICAL VENTILATION - LOCAL EXHAUST

- KITCHENS SHALL VENT AT 100 CFM MIN INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE M1505.4.4.
- BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND SIMILAR SPACES SHALL VENT AT 50 CFM INTERMITTENT OR 20
- CFIVI CUNTINUUUS PER TABLE MITSUS.4.4 3. EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL BE EXHAUSTED DIRECTLY OUTDOORS PER SECTION

WHOLE HOUSE VENTILATION

M1505.2

- 1. A WHOLE HOUSE VENTILATION SYSTEM SHALL BE PROVIDED TO MEET THE REQUIREMENTS OF SECTION M1505. SIZE OF SYSTEM DETERMINED PER CALCULATION PROVIDED.
- OVERRIDE PER SECTION M1505.4.2
- 3. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE THE VENTILATION RATE PRESCRIBED IN TABLE M1505.4.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE M1505.4.3(2).

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AND BE TESTED AND VERIFIED AS HAVING

2. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL

SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25 PERCENT OF EACH 4-HOUR SEGMENT AND

BUILDING CODE SUMMARY

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE WITH WASHINGTON STATE AMENDMENTS R302.6 DWELLING / GARAGE SEPARATION

- THE GARAGE SHALL BE SEPARATED AS FOLLOWS: MINIMUM 1/2" GYPSUM WALL BOARD APPLIED TO GARAGE SIDE AT WALLS (1 HOUR RATING).
- MINIMUM 5/8" TYPE X GYPSUM WALL BOARD APPLIED TO THE CEILING OF GARAGE.
- MINIMUM 1/2" GYPSUM WALL BOARD AT STRUCTURES SUPPORTING THE GARAGE CEILING. MINIMUM 1 3/8" SOLID CORE DOOR, OR 20-MIN FIRE RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE.

R304 AND R305 ROOM DIMENSION REQUIREMENTS

- HABITABLE SPACE SHALL HAVE A MINIMUM CEILING HEIGHT OF 7'-0". BEAMS, GIRDERS AND DUCTS MAY HAVE A CLEAR HEIGHT OF 6'-4".
- BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOM SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8".
- A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD MUST HAVE AN AREA OF 30" X 30" WITH 6'-8" CEILING HEIGHT AT THE SHOWERHEAD.
- FOR ROOMS WITH SLOPED CEILINGS, THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 5'-0" AND NOT LESS THAN 50% OF THE REQUIRED FLOOR AREA SHALL HAVE A CEILING HEIGHT LESS THAN 7'-0"
- HABITABLE ROOMS (SLEEPING ROOMS) SHALL HAVE A FLOOR AREA NOT LESS THAN 70 SQUARE FEET. HABITABLE ROOMS (SLEEPING ROOMS) SHALL NOT BE LESS THAN 7'-0" IN ANY HORIZONTAL DIMENSION.

R308 GLAZING

ALL GLAZING IN HAZARDOUS LOCATIONS SHALL RECEIVE SAFETY GLASS. THE SAFETY GLASS DESIGNATION SHALL BE VISIBLY MARKED ON EACH WINDOW AS REQUIRED BY CODE. THE FOLLOWING AREAS ARE HAZARDOUS LOCATIONS AND SHALL RECEIVE SAFETY GLASS:

- GLAZING IN DOORS
- GLAZING WITHIN 24" ARC OF EITHER VERTICAL EDGE OF DOOR IN A CLOSED POSITION AND WHERE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE FINISH FLOOR.
- GLAZING IN WINDOWS THAT MEETS ALL OF THE FOLLOWING:
- A. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE FINISH FLOOR
- C. THE TOP EDGE OF GLAZING IS MORE THAN 36" ABOVE FINISH FLOOR
- D. ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GI A7ING
- GLAZING AT WET SPACES WHERE THE BOTTOM OF EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" (EXCEPTION: FOR GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A
- BATHTUB). GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAY.

R314 SMOKE DETECTORS /315 CARBON MONOXIDE ALARM

- PROVIDE A SMOKE DETECTOR AND CARBON MONOXIDE IN THE FOLLOWING LOCATIONS: SD: IN EACH SLEEPING ROOM.
 - SD: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. CD: MINIMUM ONE AT EACH STORY OF THE DWELLING INCLUDING BASEMENT.
- NOTES ALL CODE SUMMARIES ABOVE ARE FOR REFERENCE ONLY PLEASE REFER TO THE JURISDICTION'S BUILDING DEPARTMENT AND CODES FOR FURTHER DETAILS

MECHANICAL VENTILATION CALCULATIONS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE M1505, TABLE M1505.4.3(1)

	REQUIRED CO	NTINUOUS VENTILATION PE	ER TABLE M1505.4.3(1)
DWELLING UNIT FLOOR AREA 1ST FLOOR 2ND FLOOR	(ALTERED) 10 SF 0 SF	TOTAL SF 2110 SF 2795 SF	REQUIRED AIRFLOW
NUMBER OF BEDROOMS	5	4905 SF	105 CFM
INTERMITTENT VENTILATION ADJUSTMENT FACTOR F	2		
TOTAL REQUIRED INTERMITTENT VENTILATION			

INTERMITTENT VENTILATION PROVIDED BY BATHROOM FANS RUNNING @ 50% TIME INTERVAL MINIMUM.

BUILDING AREA CALCULATIONS

	EXISTING TO REMAIN	NEW	EXISTING + NEW
CONDITIONED SPACE (INTERIOR)			
FIRST FLOOR	2100 SF	10 SF (TAKEN FROM GARAGE)	2110 SF
SECOND FLOOR	2795 SF	0	2795 SF
TOTALS	4895 SF	10 SF	4905 SF



GUARDRAIL HANDRAIL -

ALL STAIR GUARD RAILINGS SHALL NOT TO ALLOW PASSAGE OF A 4-3/8" DIAMETER

SPHERE OR GREATER -

THE TRIANGULAR OPENING AT THIS LOCATION SHALL NOT ALLOW PASSAGE OF A SPHERE 6" IN DIAMETER OR GREATER —

NOSING REQUIRED IF TREAD DEPTH IS LESS THAN 11"

R311.7 STAIRWAYS

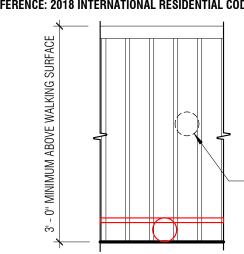
- STAIRS
- TREAD DEPTH SHALL BE A MINIMUM OF 10" PER R311.7.5.2
- TREAD WIDTH SHALL BE MINIMUM OF 3'-0" PER R311.7.1
- THE NARROWEST POINT PER R311.7.5.2.1

HANDRAILS

- GUARDS

- DIAMETER. PER R312.1.3.2

GUARDS CODE REQUIREMENTS

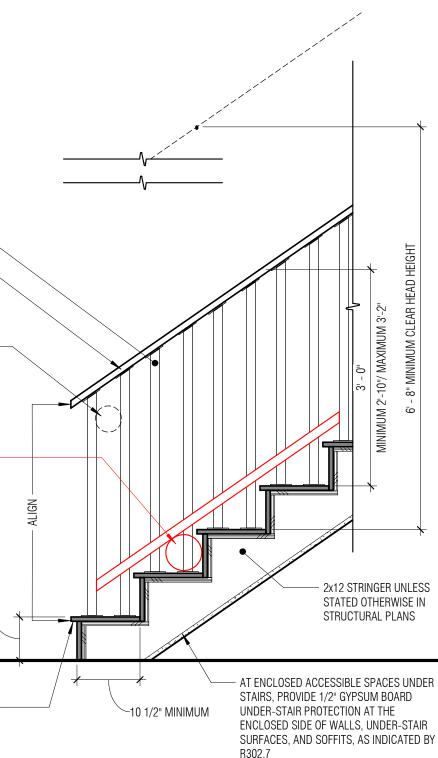


R312 GUARDS

- SURFACE OR GRADE PER R312.1.2
- PASSAGE OF A SPHERE 4 INCHES PER R312.1.3
- INFILL COMPONENTS PER R301.5.

STAIR CODE REQUIREMENTS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE WITH WASHINGTON STATE AMENDMENTS



• RISER HEIGHT SHALL BE A MAXIMUM OF 7 3/4" PER R311.7.5.1

- A NOSING IS NOT REQUIRED WHERE TREAD DEPTH IS MINIMUM 11" PER R311.7.5.3 EXCEPTION
- FOR WINDING STAIRS PROVIDE A MINIMUM 10" TREAD AT 12" FROM THE NARROWEST POINT AND A MINIMUM 6" TREAD AT
- CLEAR HEAD HEIGHT TO BE A MINIMUM OF 6'-8" MEASURED VERTICAL FROM THE TREAD NOSING PER R311.7.2
- OPEN RISERS TO NOT ALLOW A 4" DIAMETER SPHERE OR GREATER TO PASS PER R311.7.5.1 • A FLIGHT OF STAIR SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12'-3" PER R311.7.3.
- LANDING WIDTH SHALL BE NO LESS THAN THE WIDTH OF STAIRWAY, AND MINIMUM 36" DEPTH PER R311.7.6.

• HANDRAIL HEIGHT, MEASURED VERTICALLY, SHALL BE BETWEEN 34" AND 38" PER R311.7.8.1 HANDRAILS SHALL BE CONTINUOUS FOR FULL FLIGHT PER R311.7.8.2. • HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS PER R311.7.8.2. • HANDRAIL TO BE A MINIMUM OF 1 1/2" IN DIAMETER PER R311.7.8.2.

• GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS PER R312.1.2. GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4-3/8 INCHES IN THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR FORMED BY THE RISER, TREAD, AND BOTTOM RAIL GUARD SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER PER R312.1.1.1

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE WITH WASHINGTON STATE AMENDMENTS

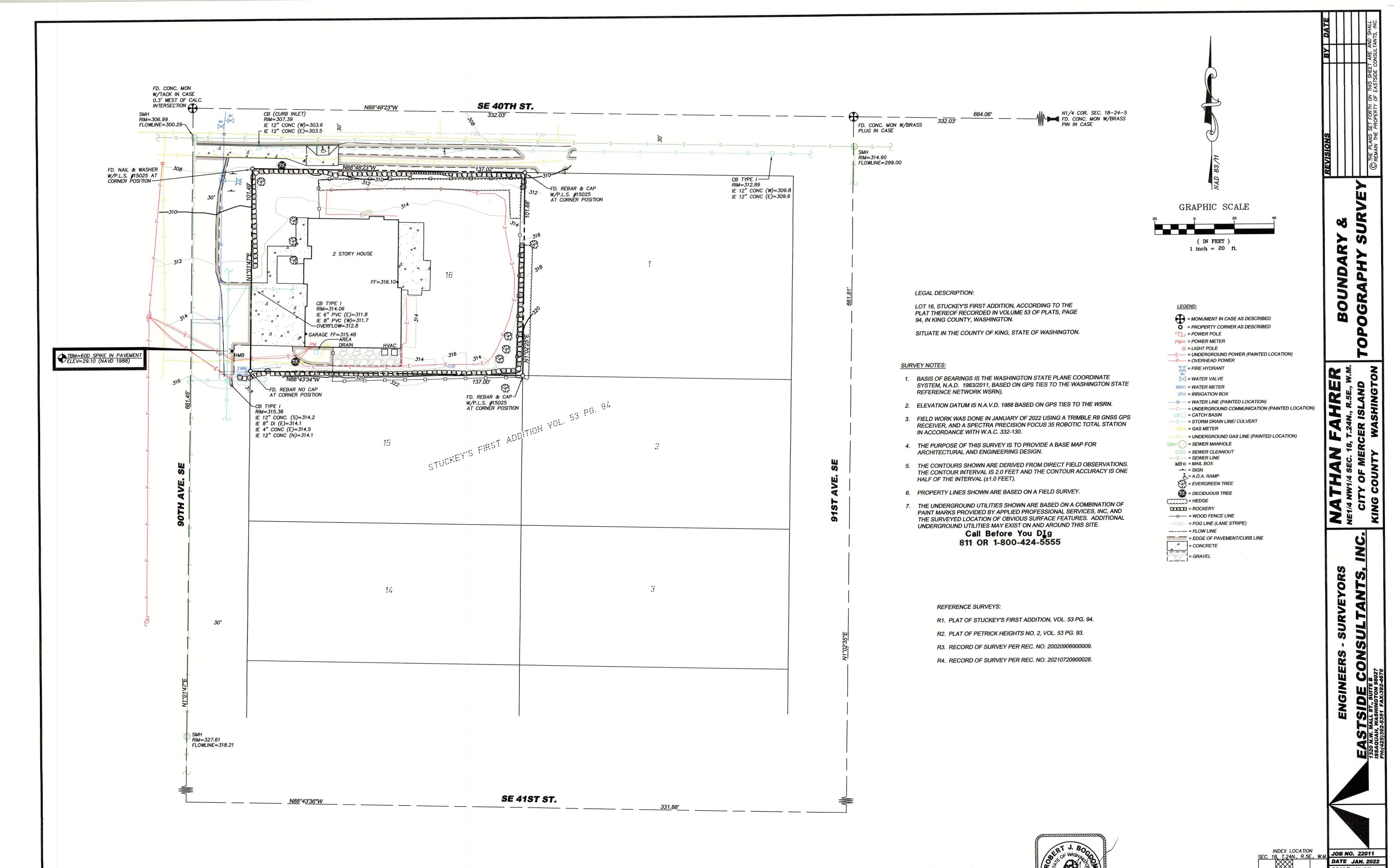
ALL GUARDRAILS OPENINGS TO NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH

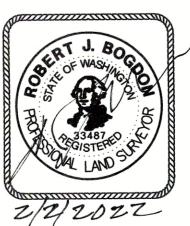
 GUARDS ARE REQUIRED AT OPEN-SIDED WALKING SURFACES LOCATED MORE THAN 30" ABOVE ADJACENT WALKING • GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE PER R312.1.2 GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW GUARDRAIL TO BE DESIGNED TO RESIST A 200 LB CONCENTRATED LOAD ON THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL

NOTE: GUARD EXCEPTIONS FOR STAIRS NOTED ON STAIR CODE REQUIREMENTS

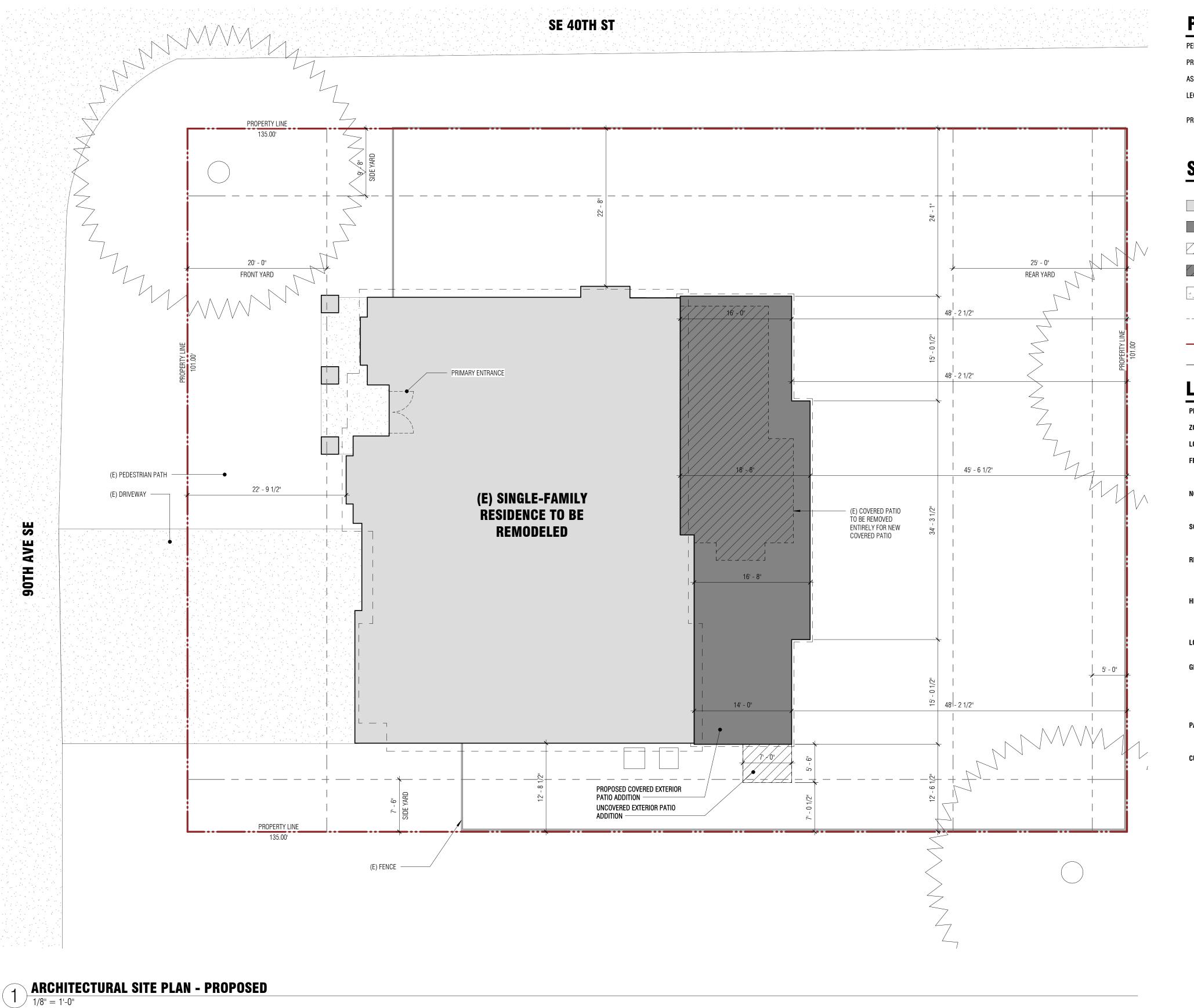
	board la Vellum	115 15th Avenue East, Suite 100 +1 206 707 8895 Seattle, Washington 98112 info@boardandvellum.com	Architecture. Interiors. Site Design. boardandvellum.com
986 JEF S		REGISTERE RCHITECT	TIER
GRIMA RESIDENCE Revision	PROJECT ADDRESS:	4008 90TH AVE SE MERCER ISLAND, WA 98040	OWNER: SURIYA GRIMA AND NATHAN FAHRER DESCHIDLION
ISSUANCES DATE 06.12.2023	AND VELLUM LL E IS 22"x34" LUM PRO	PERMIT C. ALL RIGHTS JECT #:	RESERVED. 2021024.00
JURISDICTION PLOT DATE: BUILDIN SUMMA SHEET NO.:	n projec' G / EN	Г <i>#</i> :	TBD 06.12.2023







INDEX LOCATION SEC. 18, T.24N., R.5E	
	DATE JAN. 2022
	SCALE 1"=20'
	DESIGNED S.K.
	DRAWN S.K.
(18)	CHECKED R.B.
	APPROVED .
	SHEET 1 OF 1



PERMIT NO: PROJECT ADDRESS: ASSESSOR PARCEL NO LEGAL DESCRIPTION:

PROJECT DESCRIPTION

SITE PLAN KEY

-----_ _ _ _ _

PER MICC 19.02

ZONE: LOT SIZE:

FRONT SETBACK: Min. Req'd: Proposed:

NORTH SIDE SETBACK: Min. Req'd: Proposed:

SOUTH SIDE SETBACK: Min. Req'd: Proposed:

REAR SETBACK: Min. Req'd: Proposed:

HEIGHT LIMIT: ALLOWED:

PROPOSED:

LOT COVERAGE: ALLOWED:

GROSS FLOOR AREA: ALLOWED: MAIN LEVEL: UPPER LEVEL: TOTAL (E): PROPOSED:

PARKING: REQUIRED: PROPOSED:

CURB CUT CALCULATIONS: ALLOWED:

PROPOSED:

PROJECT INFORMATION

	4008 90TH AVE SE MERCER ISLAND, WA 98040
0:	806230-0080
	LOT 16, STUCKEY'S FIRST ADDITION, ACCORDING TO THE PLAT THEROF RECOREDED IN VOLUME 53 OF PLATS, PAGE 94, IN KING COUNTY, WASHINGTON.
N:	INTERIOR REMODEL, COVERED PATIO ADDITION, AND REAR SITE WORK

TBD

EXISTING HOUSE FOOTPRINT	
NEW COVERED PATIO FOOTPRINT	
NEW UNCOVERED PATIO FOOTPRINT	2
(E) COVERED PATIO FOOTPRINT TO BE REMOVED	
CONCRETE WALKWAY	`
ROOF ABOVE	_
PROPERTY LINE	_
LINE OF SETBACK	_

LAND USE / ZONING CODE SUMMARY

R-9.6 13,917 SF

20'-0" 22'-9 1/2" (NO CHANGE, THEREFORE OKAY)

9'-8" 22'-8" (NO CHANGE, THEREFORE OKAY)

7'-6" 12'-6 1/2"

25'-0" 46'-6 1/2"

30'-0" TO HIGHEST POINT ABOVE AVERAGE GRADE ELEVATION

28'-10 5/16" EXISTING, NO CHANGE SEE SHEET A1.12 FOR LOT COVERAGE CALUCATIONS

40% OF LOT NET AREA < 8,000 SF (WHICHEVER IS LESS) = 5,566.8 SF 3,010 GSF (EXISTING) 2,818 GSF (EXISTING) 5,828 GSF (EXISTING) 5,828 GSF (NO CHANGE, THEREFORE OKAY)

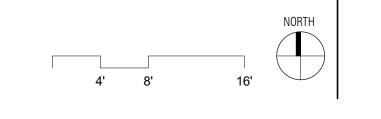
1 (EXISTING, NO CHANGE)

(1) CURB CUT NO GREATER THAN 20 FEET, AS SUBSTITUTED FOR (2) 10-FOOT CURB CUTS ALLOWED FOR A STREET FRONTAGE BETWEEN 80 AND 160 FEET ON A NON-ARTERIAL STREET. (SMC 23.54.030)

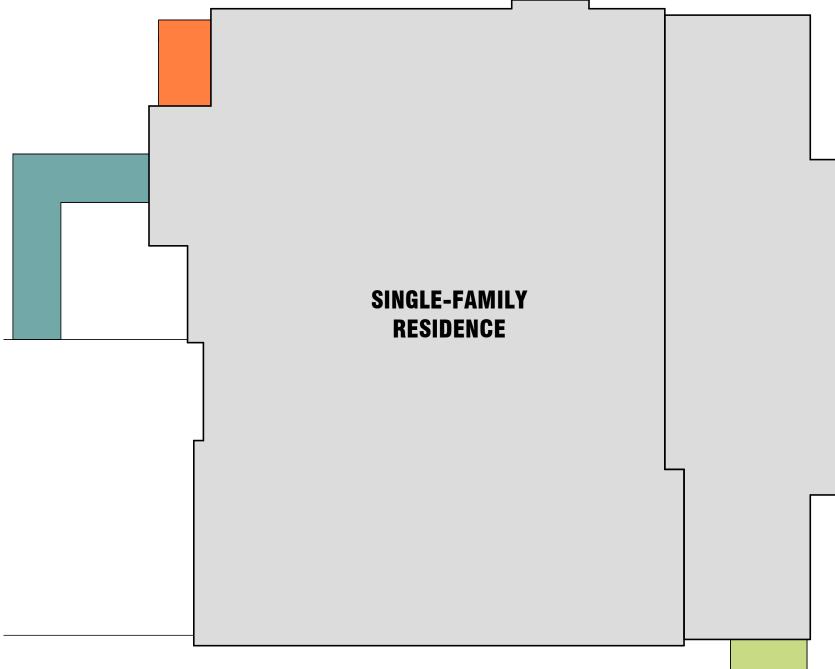
1 (EXISTING, NO CHANGE)













HARDSCAPE CALCULATION

HARDSCAPE CALCULATIONS

PER MERCER ISLAND CITY CODE 19.02.060

III. ALLOWED: A MAXIMUM OF 9% OF THE LOT AREA CAN BE HARDSCAPE. 1. HARDSCAPE INCLUDES: PATIOS, UNCOVERED STEPS, WALKWAYS, DECKS, RETAINING WALLS, ROCKERIES, AND OTHER HARDENED SURFACES OTHER THAN DRIVABLE SURFACES OR ROOFS. 2. HARDSCAPE IMPROVEMENTS CAN BE WITHIN THE MAXIMUM LOT COVERAGE ALLOWANCE. THAT IS, IF THE PROPOSED LOT COVERAGE IS LESS THAN THE MAXIMUM LOT COVERAGE, THE DIFFERENCE BETWEEN THE MAXIMUM AND PROPOSED AREAS CAN BE USED FOR HARDSCAPE.

A. GROSS LOT AREA		13,917 SF
B. NET LOT AREA		13,917 SF
C. AREA BORROWED FROM LOT COVERAGE		0 SF
D. ALLOWED HARDSCAPE AREA $=$ 9% OF LOT AREA $+$ C	=	9%
E. ALLOWED HARDSCAPE AREA		1,252.53 SF
F. TOTAL EXISITNG HARDSCAPE AREA:		
1. UNCOVERED DECKS		0 SF
2. UNCOVERED PATIOS		49 SF
3. WALKWAYS		143 SF
4. STAIRS		0 SF
5. ROCKERIES AND RETAINING WALLS		0 SF
6. OTHER		N/A
7. TOTAL EXISTING HARDSCAPE AREA (F1 + F2 + F3 + F4 + F5 + F6)	=	192 SF
G. TOTAL HARDSCAPE AREA REMOVED		0 SF
H. TOTAL NEW HARDSCAPE AREA:		
1. UNCOVERED DECKS		0 SF
2. UNCOVERED PATIOS		40 SF
3. WALKWAYS		0 SF
4. STAIRS		0 SF
5. ROCKERIES AND RETAINNG WALLS		0 SF
6. OTHER		N/A
7. TOTAL NEW HARDSCAPE AREA (H1 + H2 + H3 + H4 + H5 + H6)	=	40 SF
I. TOTAL PROJECT HARDSCAPE AREA (F7 - G) + H7	=	232 SF
J. TOTAL PROJECT HARDSCAPE AREA (I/B) X 100	=	1.6%



EXISTING UNCOVERED PATIO



UNCOVERED PATIO



AVERAGE GRADE CALCULATION

SMC 23.86.006.A.1.b: AT THE MIDPOINT OF EACH SIDE OF THE SMALLEST RECTANGLE THAT CAN BE DRAWN TO ENCLOSE THE STRUCTURE.

LENGTH		MIDPOINT ELEVATION		TOTAL
71.6'	Х	314.1'	=	22,489.56
71.6'	Х	314.2'	=	22,496.72
67.3'	Х	314.1'	=	21,138.93
67.3'	Х	314.2'	=	21,145.66
				87,270.87

277.8'

(87,270.87/277.8) = 314.15'

PROPOSED HEIGHT: 342.99' (E) NO CHANGE TO HEIGHT

LOT COVERAGE CALCULATIONS & KEY

1		
	=	13,917 SF
)T AREA (MAX LOT COVERAGE)	=	5.566.8 SF
House Footprint + Overhangs	=	3,275 SF
COVERED PATIOS + DRIVING SURFACES	=	1,243 SF
L EXISTING	=	4,518 SF
D COVERED PATIO ADDITION FOOTPRINT	=	580 SF
O UNCOVERED PATIO ADDITION FOOTPRINT	=	40 SF
L PROPOSED	=	620 SF
ISTING AND PROPOSED LOT COVERAGE	=	5,138 SF <
		5,566.8 SF (MAX)

EXISTING COVERAGE (INCLUDES BUILDING FOOTPRINT AND ROOF OVERHANGS

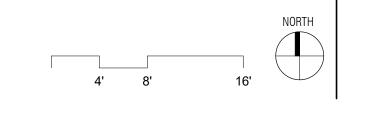
EXISTING UNCONDITIONED SPACE TO BE REPLACED

PROPOSED PATIO ADDITION FOOTPRINT

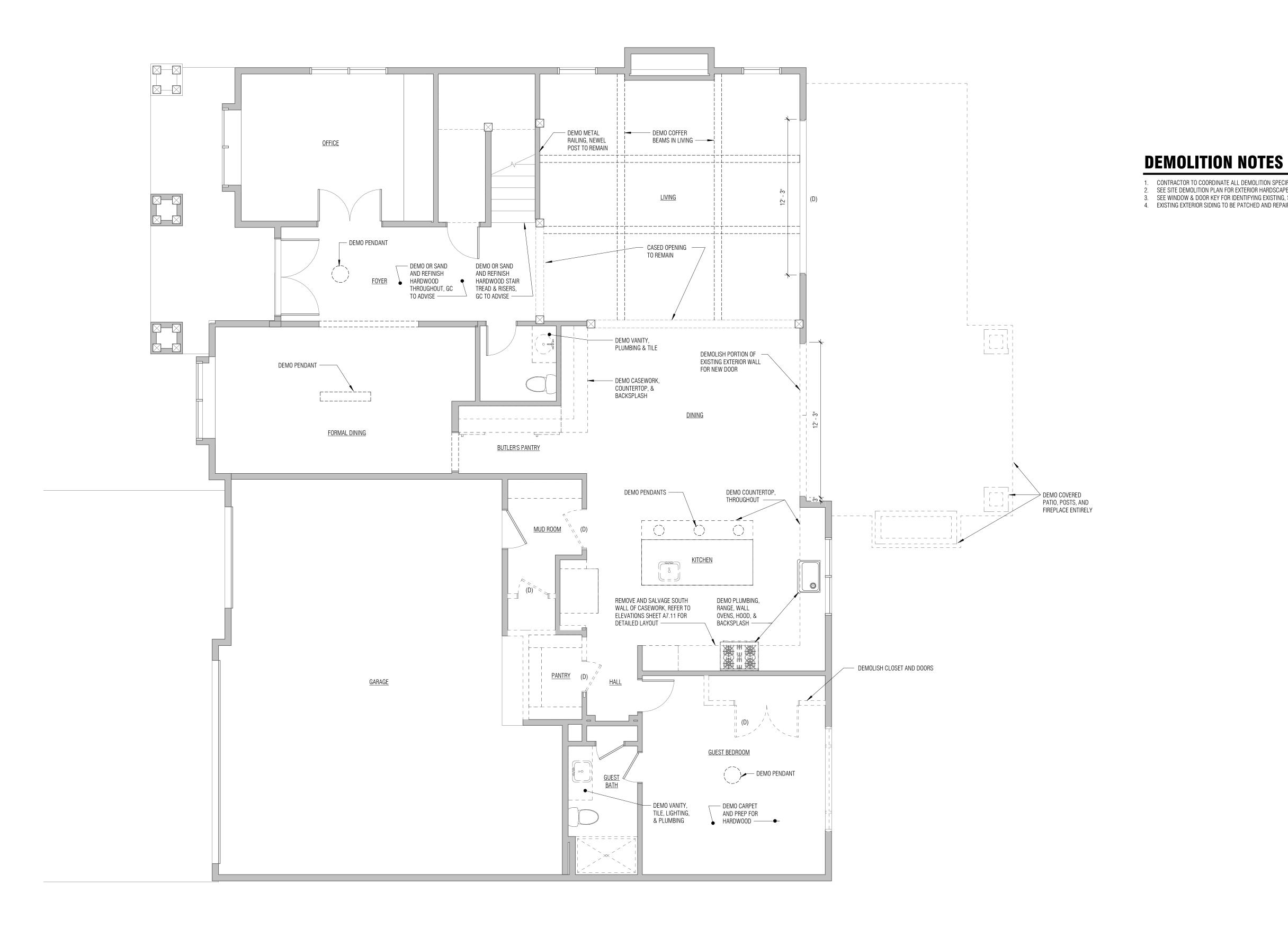
GRIMA RESIDENCE	PROJECT ADDRESS:	4008 90TH AVE SE MERCER ISLAND, WA 98040	OWNER: SURIYA GRIMA AND NATHAN FAHRER
	Board & Vellum	115 15th Avenue East, Suite 100 +1 206 707 8895 Seattle, Washington 98112 info@boardandvellum.com	Architecture. Interiors. Site Design. boardandvellum.com

SHEET NO .:



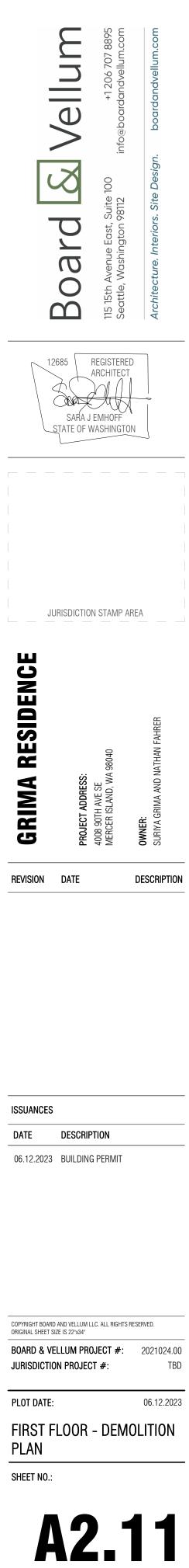






WALL KEY	
	EXISTING WALL
	DEMO WALL
	NEW WALL
	NEW CONC WALL
	ROOF CUT

CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK. SEE SITE DEMOLITION PLAN FOR EXTERIOR HARDSCAPE AND STRUCTURE DEMOLITION AND NOTES. 3. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS. 4. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.



NORTH

2' 4' 8'



WINDOW / DOOR KEY

(D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED (S) EXISTING DOOR OR WINDOW TO BE SALVAGED (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

(E) EXISTING DOOR OR WINDOW TO REMAIN

EXISTING WALL

WALL KEY

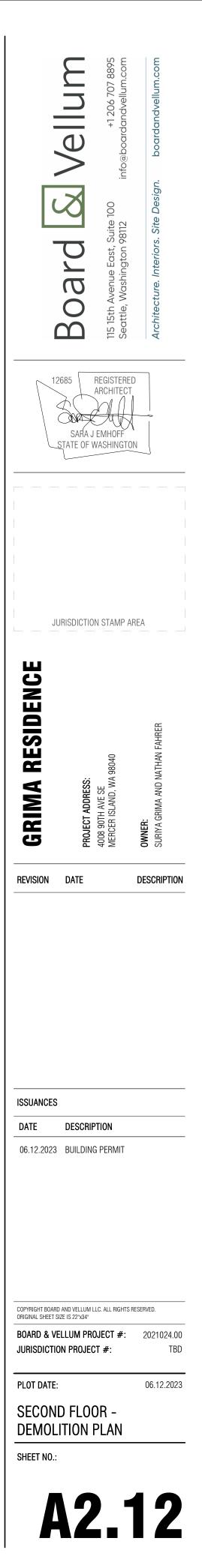
DEMO WALL

NEW WALL

NEW CONC WALL

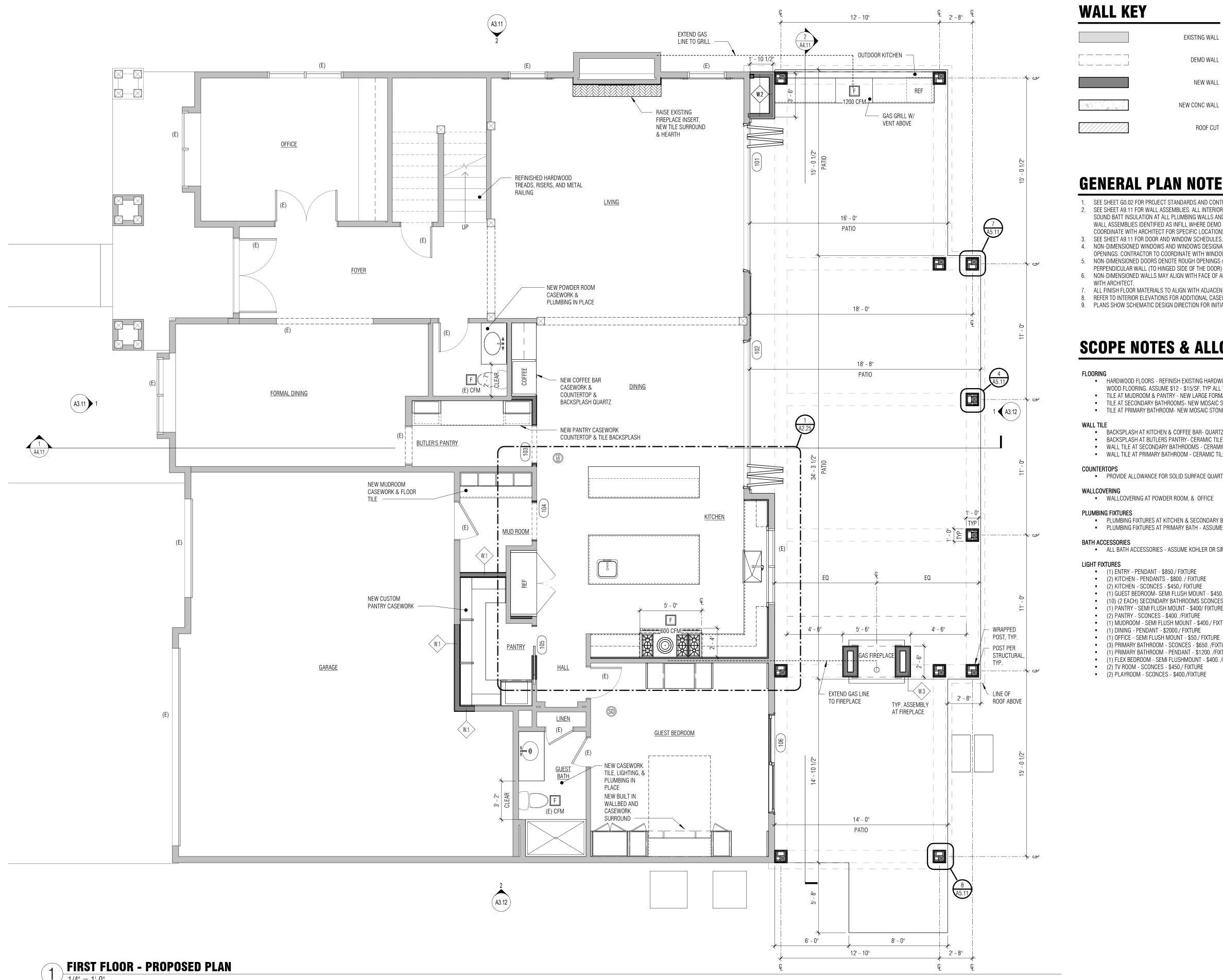
ROOF CUT

. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK. SEE SITE DEMOLITION PLAN FOR EXTERIOR HARDSCAPE AND STRUCTURE DEMOLITION AND NOTES. 3. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS. 4. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.



NORTH

2' 4' 8'



WINDOW / DOOR KEY

EXISTING WALL

DEMO WALL

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(E) EXISTING DOOR OR WINDOW TO REMAIN (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED (S) EXISTING DOOR OR WINDOW TO BE SALVAGED (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

GENERAL PLAN NOTES

SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES. 2. SEE SHEET A9.11 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.

4. NON-DIMENSIONED WINDOWS AND WINDOWS DESIGNATED WITH 'R' DENOTE REPLACEMENTS PER EXISTING ROUGH OPENINGS. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS. NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.

6. NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE

ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH UNLESS NOTED OTHERWISE. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL CASEWORK DETAIL 9. PLANS SHOW SCHEMATIC DESIGN DIRECTION FOR INITIAL BUDGET. ADDITIONAL DEVELOPMENT TO FOLLOW.

SCOPE NOTES & ALLOWANCES

 HARDWOOD FLOORS - REFINISH EXISTING HARDWOOD FLOOR, PROVIDE COST ALTERNATIVE FOR: ENGINEERED WOOD FLOORING. ASSUME \$12 - \$15/SF, TYP ALL WOOD FLOORS • TILE AT MUDROOM & PANTRY - NEW LARGE FORMAT PORCELAIN TILE. ASSUME \$15 - \$20/SF • TILE AT SECONDARY BATHROOMS- NEW MOSAIC STONE TILE. ASSUME \$20 - \$30/SF • TILE AT PRIMARY BATHROOM- NEW MOSAIC STONE TILE. ASSUME \$35 - \$40./SF

 BACKSPLASH AT KITCHEN & COFFEE BAR- QUARTZ SLAB, ASSUME 2CM BACKSPLASH AT BUTLERS PANTRY- CERAMIC TILE, ASSUME \$15 - \$20./SF • WALL TILE AT SECONDARY BATHROOMS - CERAMIC TILE, ASSUME \$20- \$25./SF • WALL TILE AT PRIMARY BATHROOM - CERAMIC TILE, ASSUME \$30 - \$35./SF

• PROVIDE ALLOWANCE FOR SOLID SURFACE QUARTZ IN 3CM SLAB IN KITCHEN; 2CM IN BATHROOMS

• WALLCOVERING AT POWDER ROOM, & OFFICE

 PLUMBING FIXTURES AT KITCHEN & SECONDARY BATHS - ASSUME KOHLER/HANSGROHE OR SIMILAR PLUMBING FIXTURES AT PRIMARY BATH - ASSUME WATERWORKS OR SIMILAR

ALL BATH ACCESSORIES - ASSUME KOHLER OR SIMILAR

• (2) KITCHEN - PENDANTS - \$800. / FIXTURE (2) KITCHEN - SCONCES - \$450./ FIXTURE • (1) GUEST BEDROOM- SEMI FLUSH MOUNT - \$450. / FIXTURE • (10) (2 EACH) SECONDARY BATHROOMS SCONCES - \$450. / FIXTURE • (1) PANTRY - SEMI FLUSH MOUNT - \$400/ FIXTURE • (2) PANTRY - SCONCES - \$400. /FIXTURE (1) MUDROOM - SEMI FLUSH MOUNT - \$400./ FIXTURE • (1) DINING - PENDANT - \$2000./ FIXTURE • (1) OFFICE - SEMI FLUSH MOUNT - \$50./ FIXTURE • (3) PRIMARY BATHROOM - SCONCES - \$650. /FIXTURE • (1) PRIMARY BATHROOM - PENDANT - \$1200. /FIXTURE • (1) FLEX BEDROOM - SEMI FLUSHMOUNT - \$400. /FIXTURE

RIGINAL SHEET	ISSUANCE DATE 06.12.202	REVISION	GRIMA RESIDENCE			
RD AND VELLUM LL SIZE IS 22"x34" VELLUM PRO TON PROJEC	S DESCRIP 3 BUILDING	DATE	JURISDICTION	SARA J	Board &	Vellum
JECT #:			4008 90TH AVE SE MERCER ISLAND, WA 98040	REGISTERE ARCHITECT MUCH EMHOFF /ASHINGTC	115 15th Avenue East, Suite 100 Seattle, Washington 98112	+1 206 707 8895 info@boardandvellum.com
2021024.00 TBD		DESCRIPTION	OWNER: SURIYA GRIMA AND NATHAN FAHRER		Architecture. Interiors. Site Design.	boardandvellum.com

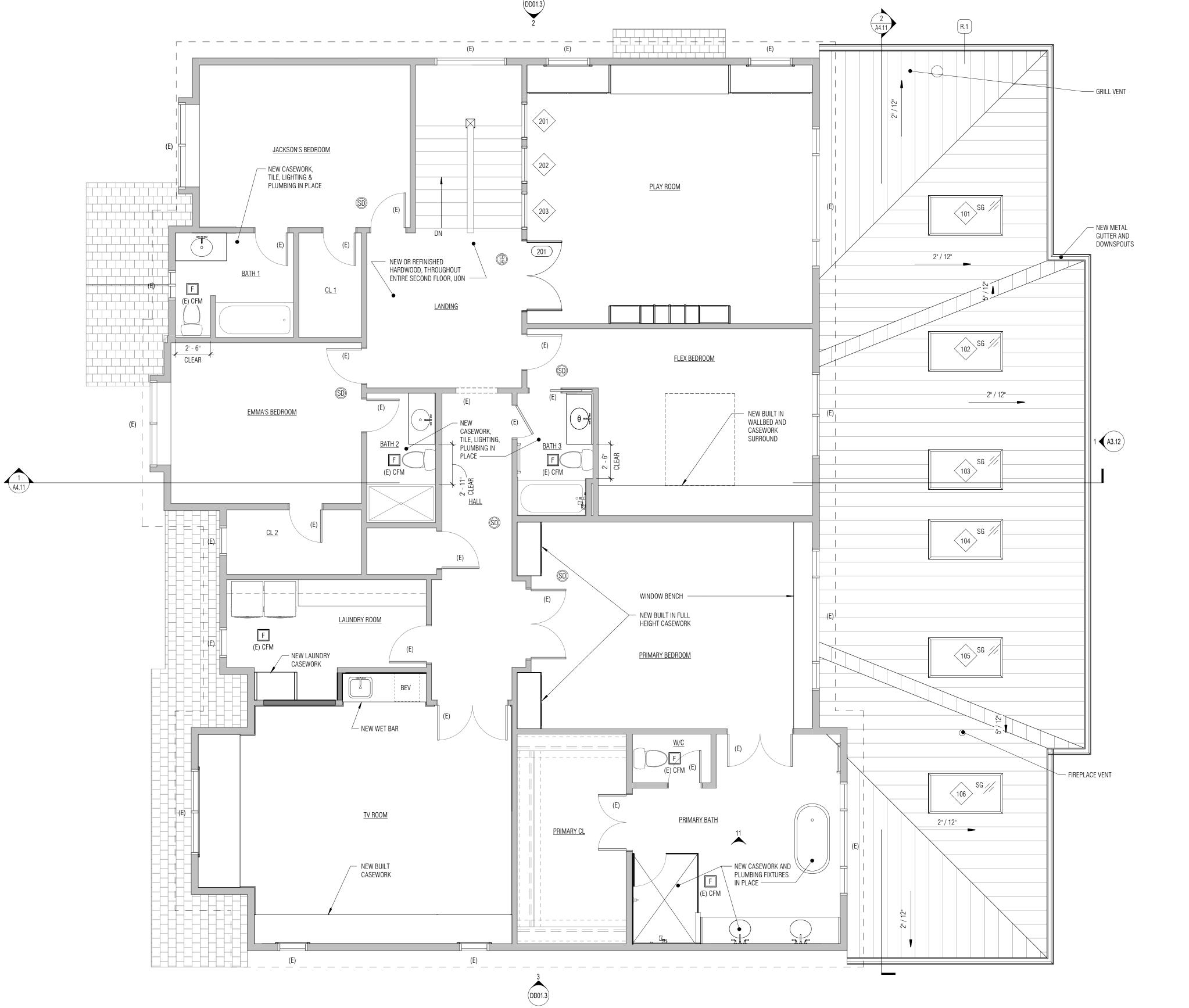












1 **SECOND FLOOR - PROPOSED PLAN** 1/4" = 1'-0"

(DD01.3)

WALL KEY

GENERAL PLAN NOTES

- WITH ARCHITECT.

FLOORIN	G HARDWOOD FLOOF WOOD FLOORING. / TILE AT MUDROOM TILE AT SECONDAF TILE AT PRIMARY B
WALL TIL	E BACKSPLASH AT K BACKSPLASH AT B WALL TILE AT SECO WALL TILE AT PRIN
COUNTEI •	R TOPS Provide Allowan
WALLCO	VERING WALLCOVERING AT
PLUMBIN •	ig fixtures Plumbing fixturi Plumbing fixturi
BATH AC •	CESSORIES All Bath Access
LIGHT FIX	XTURES (1) ENTRY - PENDA (2) KITCHEN - PEN (2) KITCHEN - SCO (1) GUEST BEDROC (10) (2 EACH) SEC (1) PANTRY - SEMI (2) PANTRY - SCON (1) MUDROOM - SE (1) DINING - PEND.

WINDOW / DOOR KEY

EXISTING WALL

DEMO WALL

(E) EXISTING DOOR OR WINDOW TO REMAIN (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED (S) EXISTING DOOR OR WINDOW TO BE SALVAGED (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

NEW WALL

NEW CONC WALL

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1. SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.

2. SEE SHEET A9.11 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.

3. SEE SHEET A9.11 FOR DOOR AND WINDOW SCHEDULES.

4. NON-DIMENSIONED WINDOWS AND WINDOWS DESIGNATED WITH 'R' DENOTE REPLACEMENTS PER EXISTING ROUGH OPENINGS. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS. 5. NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.

6. NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE 7. ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH UNLESS NOTED OTHERWISE.

8. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL CASEWORK DETAIL

9. PLANS SHOW SCHEMATIC DESIGN DIRECTION FOR INITIAL BUDGET. ADDITIONAL DEVELOPMENT TO FOLLOW.

SCOPE NOTES & ALLOWANCES

ORS - REFINISH EXISTING HARDWOOD FLOOR, PROVIDE COST ALTERNATIVE FOR: ENGINEERED G. ASSUME \$12 - \$15/SF, TYP ALL WOOD FLOORS M & PANTRY - NEW LARGE FORMAT PORCELAIN TILE. ASSUME \$15 - \$20/SF ARY BATHROOMS- NEW MOSAIC STONE TILE. ASSUME \$20 - \$30/SF BATHROOM- NEW MOSAIC STONE TILE. ASSUME \$35 - \$40./SF

KITCHEN & COFFEE BAR- QUARTZ SLAB, ASSUME 2CM BUTLERS PANTRY- CERAMIC TILE, ASSUME \$15 - \$20./SF CONDARY BATHROOMS - CERAMIC TILE, ASSUME \$20- \$25./SF IMARY BATHROOM - CERAMIC TILE, ASSUME \$30 - \$35./SF

ANCE FOR SOLID SURFACE QUARTZ IN 3CM SLAB IN KITCHEN; 2CM IN BATHROOMS

T POWDER ROOM, & OFFICE

RES AT KITCHEN & SECONDARY BATHS - ASSUME KOHLER/HANSGROHE OR SIMILAR RES AT PRIMARY BATH - ASSUME WATERWORKS OR SIMILAR

SORIES - ASSUME KOHLER OR SIMILAR

DANT - \$850./ FIXTURE NDANTS - \$800. / FIXTURE CONCES - \$450./ FIXTURE 00M- SEMI FLUSH MOUNT - \$450. / FIXTURE CONDARY BATHROOMS SCONCES - \$450. / FIXTURE MI FLUSH MOUNT - \$400/ FIXTURE ONCES - \$400. /FIXTURE SEMI FLUSH MOUNT - \$400./ FIXTURE DANT - \$2000./ FIXTURE • (1) OFFICE - SEMI FLUSH MOUNT - \$50./ FIXTURE • (3) PRIMARY BATHROOM - SCONCES - \$650. /FIXTURE • (1) PRIMARY BATHROOM - PENDANT - \$1200. /FIXTURE • (1) FLEX BEDROOM - SEMI FLUSHMOUNT - \$400. /FIXTURE • (2) TV ROOM - SCONCES - \$450./ FIXTURE • (2) PLAYROOM - SCONCES - \$400./FIXTURE

	Board & Vellum	115 15th Avenue East, Suite 100 +1 206 707 8895 Seattle, Washington 98112 info@boardandvellum.com	Architecture. Interiors. Site Design. boardandvellum.com
	SARA J	REGISTERE ARCHITECT I EMHOFF WASHINGTO	
RESIDENCE	RISDICTIC	4 door 90th Ave Se Mercer Island, wa 98040	Owner: Suriya grima and nathan fahrer
GRIMA	PROJI	400 ME	
REVISION	DATE	400 ME	DESCRIPTION
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REVISION REVISION ISSUANCES DATE	DATE DATE DESCRI BUILDIN BUILDIN AND VELLUM E IS 22"x34" LLUM PR	₹ ≥ PTION G PERMIT G PERMIT ULLC. ALL RIGHTS OJECT #:	DESCRIPTION





2' 4' 8'

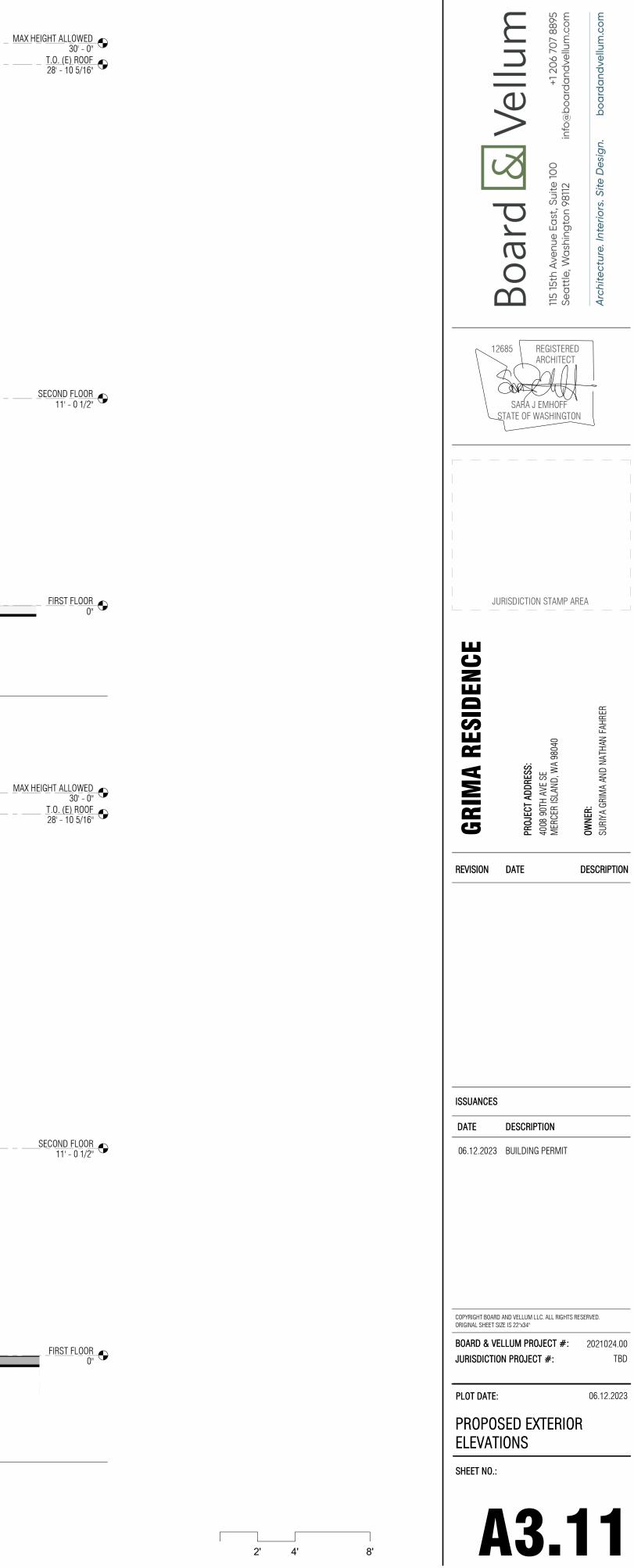




WEST ELEVATION FOR REFERENCE - NO WORK $1/4^{"} = 1^{-}0^{"}$



 $2 \frac{\text{NORTH ELEVATION}}{1/4" = 1'-0"}$



GRINA REGISTERED ARCHITECT SARA J EMHOFF STATE OF WASHINGTON JURISDICTION STAMP AREA OWNER: SURIX GRIMA AND NATHAN FAHREH SURIX GRIMA AND NATHAN FAHREH	Image: State of Washington Im		rd & Vellui	East, Suite 100 +1 206 707 8895 igton 98112 info@boardandvellum.com	Architecture. Interiors. Site Design. boardandvellum.com
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	SSUANCES			4008 90TH AVE SE MERCER ISLAND, WA 9804	
DATE DESCRIPTION 06.12.2023 BUILDING PERMIT		SSUANCE	S DESCRIP		
06.12.2023 BUILDING PERMIT OPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED. IRIGINAL SHEET SIZE IS 22"x34" 30ARD & VELLUM PROJECT #: 2021024.00		DATE 06.12.2023 COPYRIGHT BOA DRIGINAL SHEET BOARD & V	S DESCRIP 3 BUILDING RD AND VELLUM LI SIZE IS 22"x34" VELLUM PRO	C. ALL RIGHTS F	2021024.00
06.12.2023 BUILDING PERMIT OPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED. RIGINAL SHEET SIZE IS 22"x34" BOARD & VELLUM PROJECT #: 2021024.00 JURISDICTION PROJECT #: TBD	IRIGINAL SHEET SIZE IS 22"x34" BOARD & VELLUM PROJECT #: 2021024.00 IURISDICTION PROJECT #: TBD	ISSUANCES DATE 06.12.2023 06.12.2023 06.12.2023 06.12.2023 06.12.2023	S DESCRIP 3 BUILDING 3 BUILDING rd AND VELLUM LI r SIZE IS 22"x34" VELLUM PRO 10N PROJEC	C. ALL RIGHTS F	2021024.00 TBD



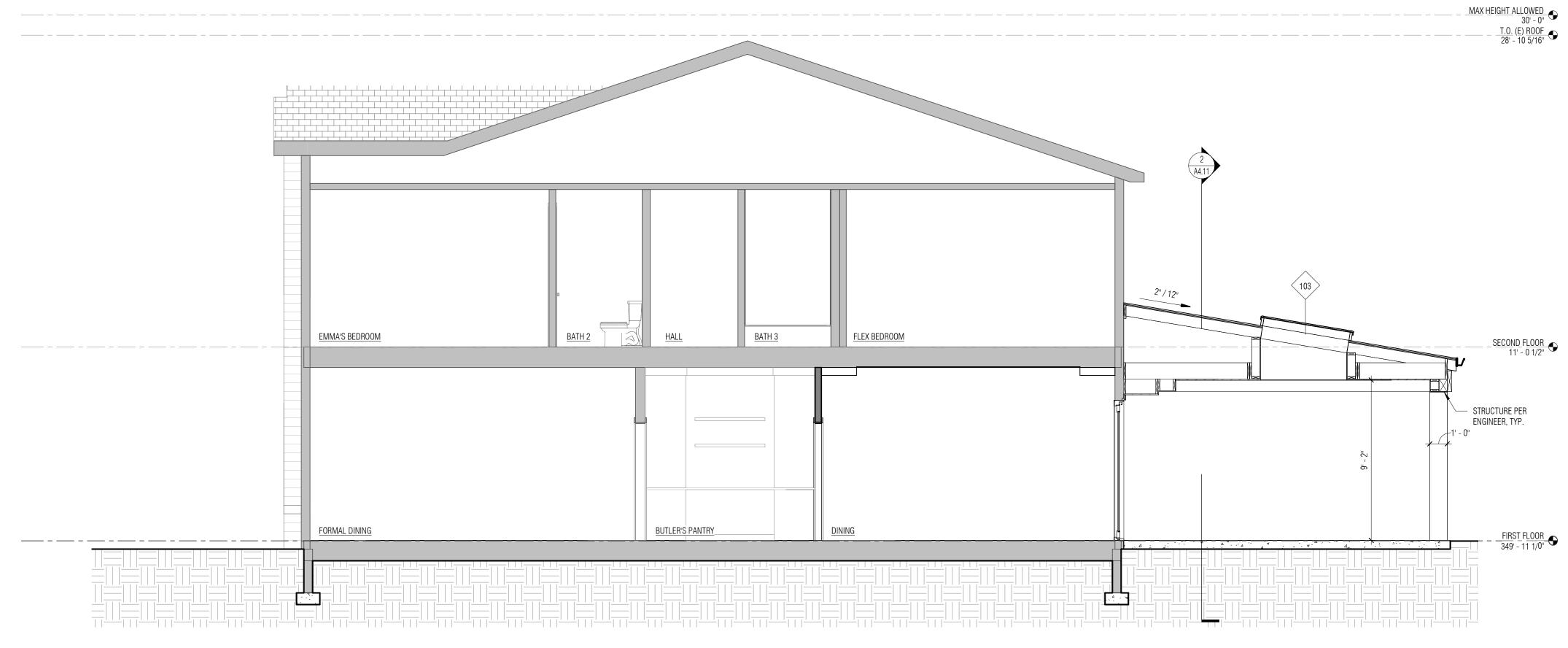


A3.12

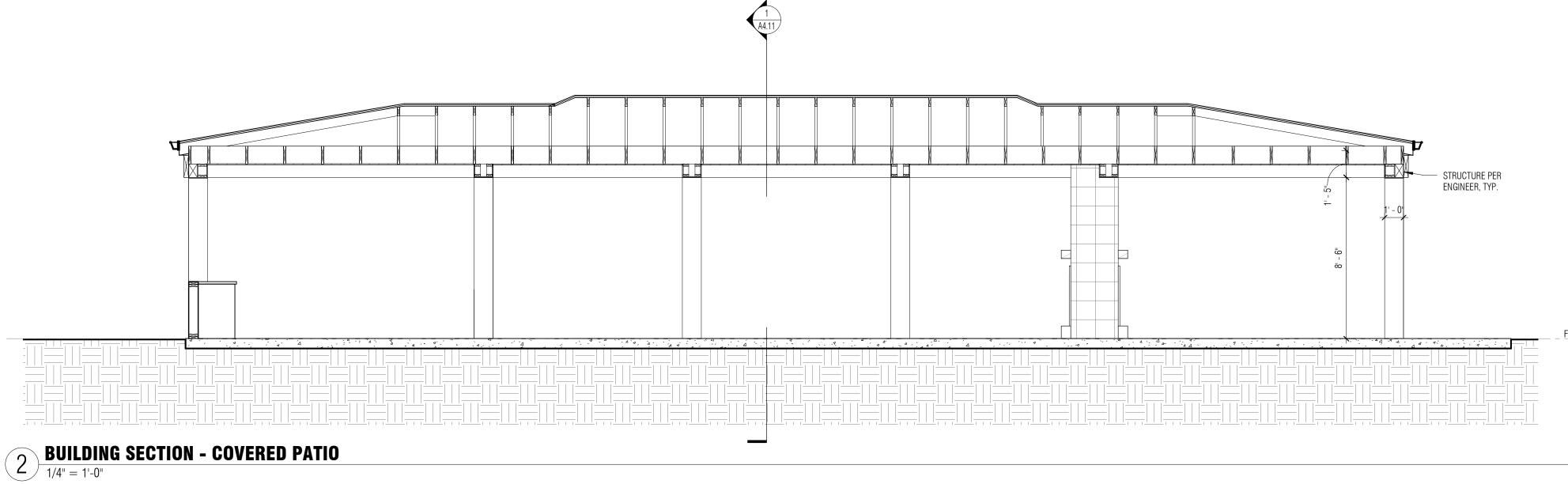
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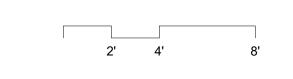
06.12.2023

DESCRIPTION









ISSUANCES

DATE DESCRIPTION

06.12.2023 BUILDING PERMIT

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JURISDICTION PROJECT #:

PROPOSED BUILDING

PLOT DATE:

SECTIONS

SHEET NO .:

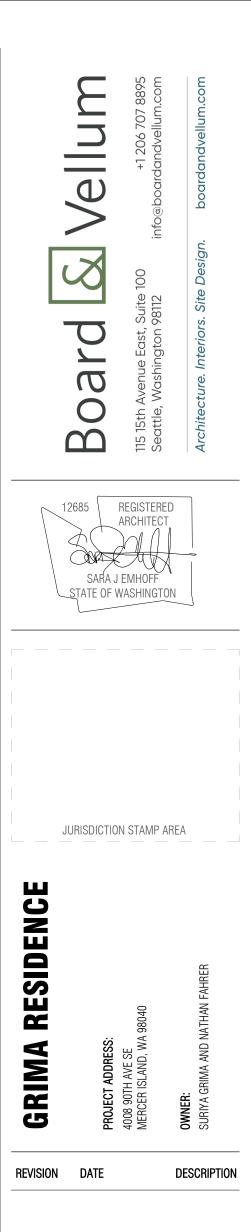
BOARD & VELLUM PROJECT #: 2021024.00

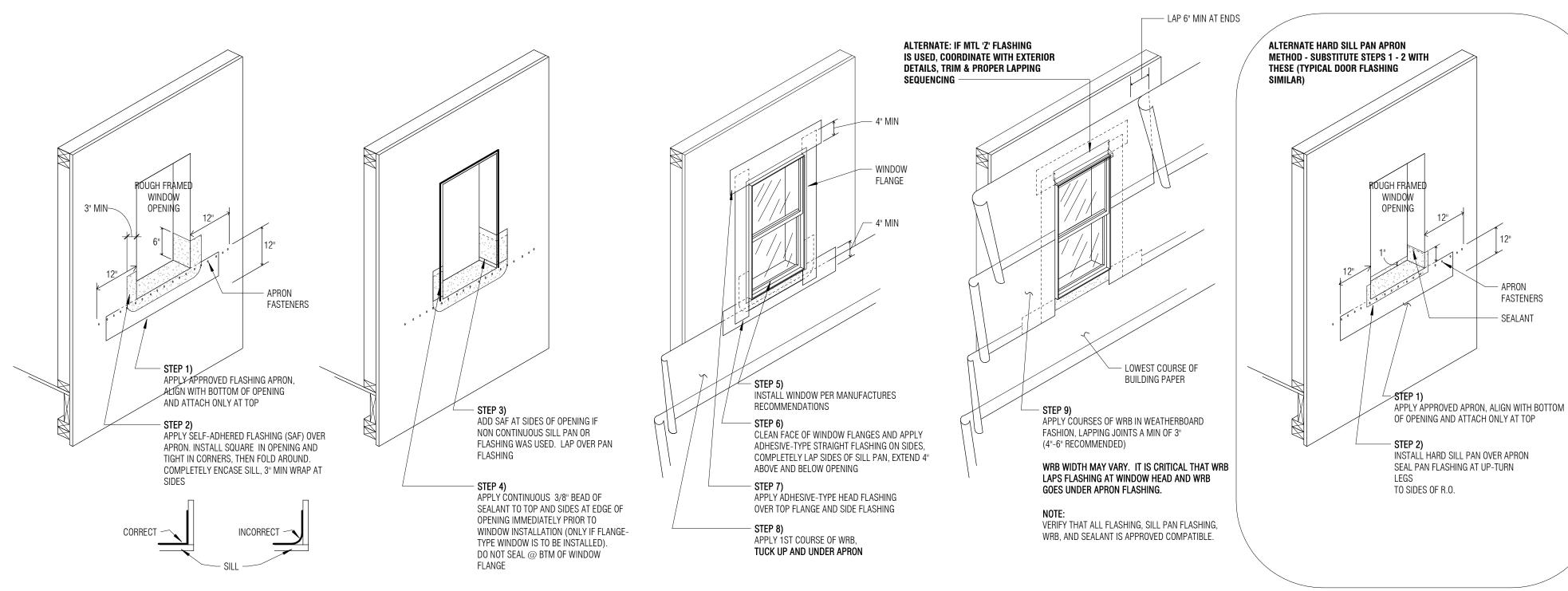
TBD

06.12.2023



_ FIRST FLOOR





A9.21 - WINDOW FLASHING DETAIL (SIM @ DOOR FLASHING)

ROOF ASSEMBLIES

NOTE: ALL ASSEMBLIES ARE LISTED FROM EXTERIOR TO INTERIOR, TOP TO BOTTOM, UNO.

R.1 UNVENTED SLOPED ROOF EAVE ASSEMBLY SS MTL ROOF

- ICE & WATER SHIELD
- SHEATHING FRAMING PER STRUCTURAL

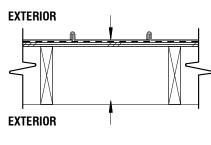
WALL ASSEMBLIES

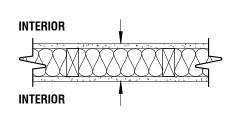
NOTE: ALL ASSEMBLIES ARE LISTED FROM TOP TO BOTTOM, EXTERIOR TO INTERIOR, UNO.

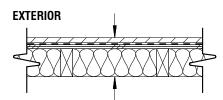
- W.1 NEW INTERIOR WALL ASSEMBLY
- FINISH PER SPECIFICATIONS
- GYPSUM WALL BOARD • 2x4 FRAMING, UNO
- ACOUSTIC INSULATION PER PLANS GYPSUM WALL BOARD • FINISH PER SPECIFICATIONS
- W.2 EXTERIOR WALL ASSEMBLY
- SIDING PER ELEVATIONS • TYPE III WRB PER SPECIFICATIONS
- SHEATHING PER STRUCTURAL
- 2x4 FRAMING, **R-21 INSULATION PER SPECIFICATIONS**
- AIR & TYPE III VAPOR BARRIER PER SPEC

W.3 - EXTERIOR FIREPLACE ASSEMBLY

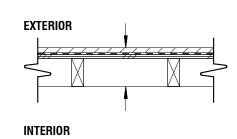
- TILE PER ELEVATIONS TYPE III WRB PER SPECIFICATIONS
- SHEATHING PER STRUCTURAL 2x4 FRAMING.
- AIR & TYPE III VAPOR BARRIER PER SPEC







INTERIOR



WINDOW SCHEDULE								
MARK	LOCATION	HEIGHT	WIDTH	HEAD HEIGHT	OPERATION	U FACTOR	SAFETY GLAZING	EGRESS
FIRST F	LOOR							
101	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		•
102	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		•
103	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		٠
104	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		•
105	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		•
106	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		•
SECON	D FLOOR							
201	PLAY ROOM	1' - 5"	2' - 8"	8' - 3"	FIXED	0.0000		
202	PLAY ROOM	1' - 5"	2' - 8"	8' - 3"	FIXED	0.0000		
203	PLAY ROOM	1' - 5"	2' - 8"	8' - 3"	FIXED	0.0000		

WINDOW NOTES

WINDOW HEAD HEIGHTS MEASURED FROM TOP OF CONCRETE SLAB OR TOP OF GYPCRETE TOPPING SLAB. WINDOW SCHEDULE INDICATES WINDOW FRAME SIZES. VERIFY WITH ARCHITECT ALL WINDOW SIZES BEFORE FRAMING

- OPENINGS. 3. PROVIDE WINDOW SUBMITTALS TO ARCHITECT PRIOR TO ORDERING WINDOWS.
- 4. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS INDICATED OTHERWISE. ADJUST ROUGH OPENING HEIGHTS OR CUT DOWN DOORS AS NECESSARY (CONSULT WITH ARCHITECT AS NECESSARY).
- 5. SEE PROJECT SPECIFICATIONS FOR WINDOW MANUFACTURER AND OTHER INFORMATION. 6. CONTRACTOR TO ORDER EGRESS WINDOWS WITH PROPER EGRESS HARDWARE WHERE REQUIRED TO MEET CODE
- REQUIREMENTS. CONTRACTOR TO VERIFY ALL EGRESS WINDOWS ORDERED MEET CURRENT CODE EGRESS REQUIREMENTS.
- 8. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

DOOR SCHEDULE								
		D	DOR					
		S	IZE					
MARK	LOCATION	WIDTH	HEIGHT	OPERATION	EXTERIOR	U FACTOR	NOTES	
FIRST F	LOOR							
101	LIVING	12' - 0"	8' - 0"	BI-FOLD	•	0.30		
102	DINING	12' - 0"	8' - 0"	BI-FOLD	•	0.30		
103	BUTLERS PANTRY	3' - 0"	6' - 8"	CASED OPENING			MATCH EXISTING	
104	MUD ROOM	3' - 0"	6' - 8"	CASED OPENING			MATCH EXISTING	
105	PANTRY	2' - 4"	6' - 8"	POCKET			MATCH EXISTING	
106	GUEST BEDROOM	8' - 0"	8' - 0"	SLIDER	•	0.30		
SECON	D FLOOR						•	
201	PLAY ROOM	5' - 0"	8' - 0"	SWING			FULL LITE	

DOOR NOTES

- 1. DOOR SCHEDULE INDICATES DOOR PANEL SIZE EXCEPT IN THE CASE OF UNIT DOORS, WHERE IT INDICATES FRAME OPENING SIZE. UNIT DOORS ARE NOTED IN SCHEDULE.
- VERIFY WITH ARCHITECT ALL DOOR SIZES BEFORE FRAMING OPENINGS.
- 3. ALL OPERATIONS NOTED ON FLOOR PLANS AND/OR ELEVATIONS. IF A DOOR KEY IS PROVIDED, IT IS FOR CONVENIENCE AND MAY NOT INDICATE ALL THE NECESSARY OPTIONS OF A DOOR.
- 4. IN REMODELS, EXTERIOR DOOR SIZES INDICATED MAY BE APPROXIMATE. CONTRACTOR TO CONFIRM ACTUAL DOOR SIZES AND ROUGH OPENING SIZES FOR ALL DOORS.
- 5. PROVIDE DOOR SUBMITTALS TO ARCHITECT PRIOR TO ORDERING DOORS.
- 6. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS NOTED OTHERWISE.
- 7. ALL GLAZING IN NEW DOORS TO BE APPROVED SAFETY-GLAZING. CONTRACTOR IS TO VERIFY THAT ALL DOORS
- REQUIRING SAFETY GLAZING ARE MANUFACTURED AND INSTALLED WITH THE CORRECT GLAZING. 8. ALL EXTERIOR DOORS AND DOORS TO UNHEATED SPACES SHALL BE FULLY WEATHERSTRIPPED.
- 9. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

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ALANT	

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INTERIOR

INTERIOR

INTERIOR

 \square 12685 REGISTERED ARCHITECT SARA J EMHOFF STATE OF WASHINGTON JURISDICTION STAMP AREA RESIDENCE GRIMA REVISION DATE DESCRIPTION ISSUANCES DATE DESCRIPTION 06.12.2023 BUILDING PERMIT COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED. ORIGINAL SHEET SIZE IS 22"x34" BOARD & VELLUM PROJECT #: 2021024.00 JURISDICTION PROJECT #: TBD DI AT DATE. 06.12.2023 WINDOW / DOOR SCHEDULES + ASSEMBLIES SHEET NO .: **A9**.

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	CRITERIA	
12. CONTRACTOR SHALL CHECK FOR DRY R SHALL BE REMOVED AND DAMAGED MEN DIRECTED BY THE STRUCTURAL ENGINEE	ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION).	1.
CON	DESIGN LOADING CRITERIA:	2.
13. CONCRETE SHALL BE MIXED, PROPORTI WITH ACI 301, INCLUDING TESTING PF STRENGTH OF f'c = 3,000 PSI AND SACKS OF CEMENT PER CUBIC YARD SLUMP OF 5" OR LESS. REQUIRED CONC REQUIREMENTS OF SECTION 1904 OF T PSI.	RESIDENTIAL - ONE AND TWO-FAMILY DWELLINGS FLOOR LIVE LOAD 40 PSF ROOF ROOF LIVE LOAD 25 PSF DEFLECTION CRITERIA LIVE LOAD DEFLECTION LIVE LOAD DEFLECTION	
14. ALL CONCRETE WITH SURFACES EXPOSE AIR-ENTRAINED WITH AN AIR-ENTRAIN AND C618. TOTAL AIR CONTENT FOR ACCORDANCE WITH ACI 318-14, TABLE	TOTAL LOAD DEFLECTION	
15. REINFORCING STEEL SHALL CONFORM GRADE 60, FY = 60,000 PSI.	LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS SITE CLASS=D (DEFAULT), Ss=1.41, Sds=1.00, S1=0.49, Sd1=0.59 Cs=0.154, SDC D, Ie=1.0, R=6.5	
16. DETAILING OF REINFORCING STEEL (ACCORDANCE WITH ACI 315R-18 AND 3 #5 AND SMALLER 40 BAR DIAMETERS OF ALL WALL AND FOOTING INTERSECTIONS DIAMETERS OR 2'-0" MINIMUM. NO BARS PARTIALLY EMBEDDED IN HARD	STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.	3.
SPECIFICALLY SO DETAILED OR APPROV 17. CONCRETE PROTECTION (COVER) FOR RE FOOTINGS AND OTHER UNFORMED SURFAC TO EARTH	PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.	4.
SLABS	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.	5.
19. EPOXY-GROUTED ITEMS (THREADED RO SPECIFIED ON THE DRAWINGS SHALL B EPOXY AS MANUFACTURED BY THE SI STRICT ACCORDANCE WITH ICC-ES REP TEMPERATURE IS 40 DEGREES, F. RO	CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".	6.
NOTED. PERIODIC SPECIAL INSPECTIO ANCHOR OR EMBEDDED BAR TYPE IDENTIFICATION AND EXPIRATION, HO ANCHOR EMBEDMENT, AND ADHERENO CONTINUOUS SPECIAL INSPECTION IS	CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO	
INSTALLATIONS. 20. CONCRETE SCREW ANCHORS INTO CONCRE ANCHOR AS MANUFACTURED BY THE SI STRICT ACCORDANCE WITH ICC-ES F EMBEDMENT REQUIREMENTS.	DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT	
21. FRAMING LUMBER SHALL BE S-DRY, K CONFORMANCE WITH WCLIB STANDARD LUMBER, 2018, OR WWPA STANDARD FURNISH TO THE FOLLOWING MINIMUM S	ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.	
JOISTS (2X & 3X MEMBERS) AND BEAMS (4X MEMBERS)	FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE IS ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.	9.
BEAMS (INCL. 6X AND LARGER)	FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.	
POSTS (4X MEMBERS)	ALLOWABLE SOIL PRESSURE	
(6X AND LARGER)	RENOVATION	
STUDS, PLATES & MISC. FRAMING:	. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING	10
22. GLUED LAMINATED MEMBERS SHALL BE ANSI/AITC STANDARDS. EACH MEMBER MARK AND SHALL BE ACCOMPANIED	CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.	
CONFORMANCE. ALL SIMPLE SPAN E 24F-V4, Fb = 2,400 PSI, Fv =265 DOUGLAS FIR COMBINATION 24F-V8, Fb	CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.	11

General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

ROT AT ALL AREAS OF NEW WORK. ALL ROT IEMBERS SHALL BE REPLACED OR REPAIRED AS IEER OR ARCHITECT.

DNCRETE

TIONED, CONVEYED AND PLACED IN ACCORDANCE PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY ND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 AND SHALL BE PROPORTIONED TO PRODUCE A ONCRETE STRENGTH IS BASED ON THE DURABILITY THE IBC. DESIGN STRENGTH IS f'c = 2,500

SED TO WEATHER OR STANDING WATER SHALL BE INING AGENT CONFORMING TO ASTM C260, C494, FOR FROST-RESISTANT CONCRETE SHALL BE IN 19.3.2.1 MODERATE EXPOSURE, F1.

TO ASTM A615 (INCLUDING SUPPLEMENT S1),

(INCLUDING HOOKS AND BENDS) SHALL BE IN 318–14. LAP ALL CONTINUOUS REINFORCEMENT OR 2'-O" MINIMUM. PROVIDE CORNER BARS AT INS. LAP CORNER BARS #5 AND SMALLER 40 BAR

RDENED CONCRETE SHALL BE FIELD BENT UNLESS COVED BY THE STRUCTURAL ENGINEER.

REINFORCING STEEL SHALL BE AS FOLLOWS:

ACES CAST AGAINST AND PERMANENTLY EXPOSED

I OR WEATHER (#5 BARS OR SMALLER). . 1–1/2" GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4"

SHED BY AN APPROVED MANUFACTURER AND SHALL CORDANCE WITH THE MANUFACTURER'S PUBLISHED TH SHALL BE AT LEAST EQUAL TO THE MATERIAL MINIMUM).

RODS OR REINFORCING BAR) INTO CONCRETE BE INSTALLED USING "SET-3G" HIGH STRENGTH SIMPSON STRONG, TIE COMPANY. INSTALL IN EPORT NO. ESR-4057. MINIMUM BASE MATERIAL RODS SHALL BE ASTM A-36 UNLESS OTHERWISE ION OF INSTALLATION IS REQUIRED TO VERIFY AND DIMENSIONS, LOCATION, ADHESIVE HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, NCE TO THE INSTALLATION INSTRUCTIONS. IS REQUIRED FOR HORIZONTAL AND OVERHEAD

CRETE SHALL BE "TITEN HD" HEAVY DUTY SCREW SIMPSON STRONG-TIF COMPANY. INSTALLED IN REPORT NO. ESR-2713. INCLUDING MINIMUM

NOOD

KD, OR MC-19, AND GRADED AND MARKED IN No. 17. GRADING RULES FOR WEST COAST RD, WESTERN LUMBER GRADING RULES 2017. STANDARDS:

HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI

DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI

DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI

DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI

DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI

DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2

FABRICATED IN CONFORMANCE WITH ASTM AND R SHALL BEAR AN AITC OR APA IDENTIFICATION ED BY AN AITC OR APA CERTIFICATE OF BEAMS SHALL BE DOUGLAS FIR COMBINATION 65 PSI. ALL CANTILEVERED BEAMS SHALL BE Fb = 2400 PSI, Fv = 265 PSI.

23. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E WS) Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI LVL (2.0E-2600FB WS) Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI LSL (1.55E) Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

24. PLYWOOD SHEATHING SHALL BE GRADE C-D. EXTERIOR GLUE OR STRUCTURAL II. EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- 25. ALL WOOD IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE.
- 26. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.
- 27. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

WOOD TREATMENT	CONDITION	PROTECTION
HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR
		CONTINUOUS HOT-GALVANIZED
		PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
AZCA	ANY	TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

28. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS MEMBERS CONNECTED.

29. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
8d	2-1/2"	0. 131"
10d	3"	0. 148"
16d BOX	3-1/2"	0. 135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS. THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

AND SMALLER LAG SCREWS.

30. NOTCHES AND HOLES IN WOOD FRAMING:

- OF THE JOIST.
- NOTCH.
- NOTED.

31. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS. AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-O" AND NATE WITH TWEEVE 16d NATES @ 4" O.C. FACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NATLED TO FACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE. 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

- NAILS PER BLOCK, UNLESS OTHERWISE NOTED.
- FLOOR LEVEL

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8"

A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH

B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR

C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304. 10. 1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO

D. WOOD SHRINKAGE: MECHANICAL, ELECTRICAL, PLUMBING FIRE PROTECTION. CLADDING, AND OTHER SYSTEMS INSTALLED WITHIN THE BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE $3/8^{\circ}$ OF VERTICAL MOVEMENT PER

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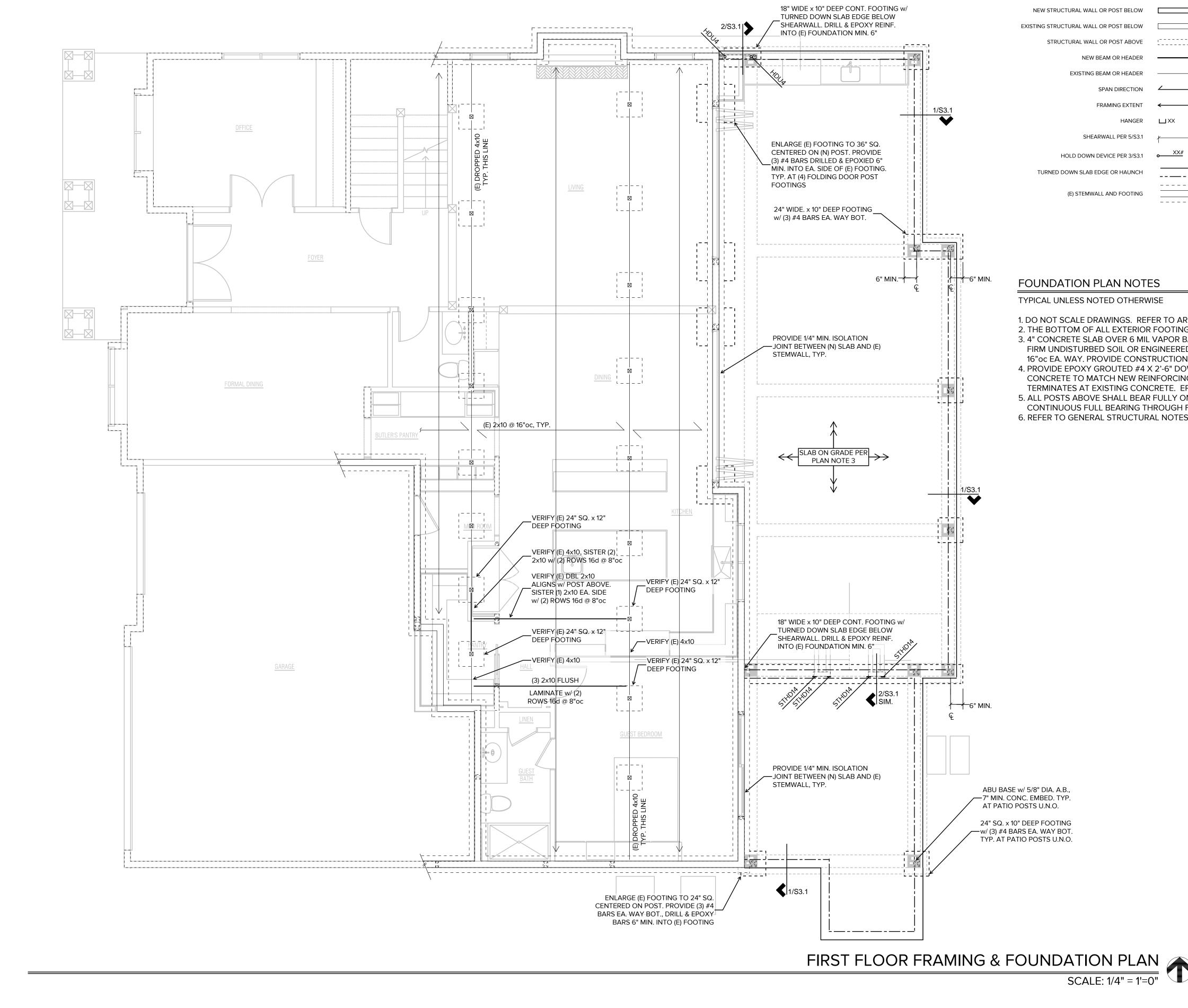
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SHEET TITLE:

General **Structural Notes**

SCALE:	
DATE:	
	June 9, 2023
PROJECT NO:	10539-2023-03
SHEET NO:	



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1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS. 2. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE. 3. 4" CONCRETE SLAB OVER 6 MIL VAPOR BARRIER ON 4" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACKFILL. REINFORCE WITH #3 BARS @ 16" oc EA. WAY. PROVIDE CONSTRUCTION/CONTROL JOINTS PER DETAIL 4/S3.1. 4. PROVIDE EPOXY GROUTED #4 X 2'-6" DOWELS EMBEDDED A MINIMUM OF 6" INTO EXISTING CONCRETE TO MATCH NEW REINFORCING. TYPICAL WHERE NEW CONCRETE WALL OR FOOTING TERMINATES AT EXISTING CONCRETE. EPOXY GROUT PER GENERAL STRUCTURAL NOTES. 5. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION. 6. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

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	SEATTLE 2124 Third Avenue, Suite 100 Seattle, WA 98121
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REVISIONS:

APPROVED:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Grima-Fahrer Residence

4008 90th Avenue SE Mercer Island, WA 98040

ARCHITECT:

Board & Vellum 115 15th Avenue E, Suite 100 Seattle, WA 98112

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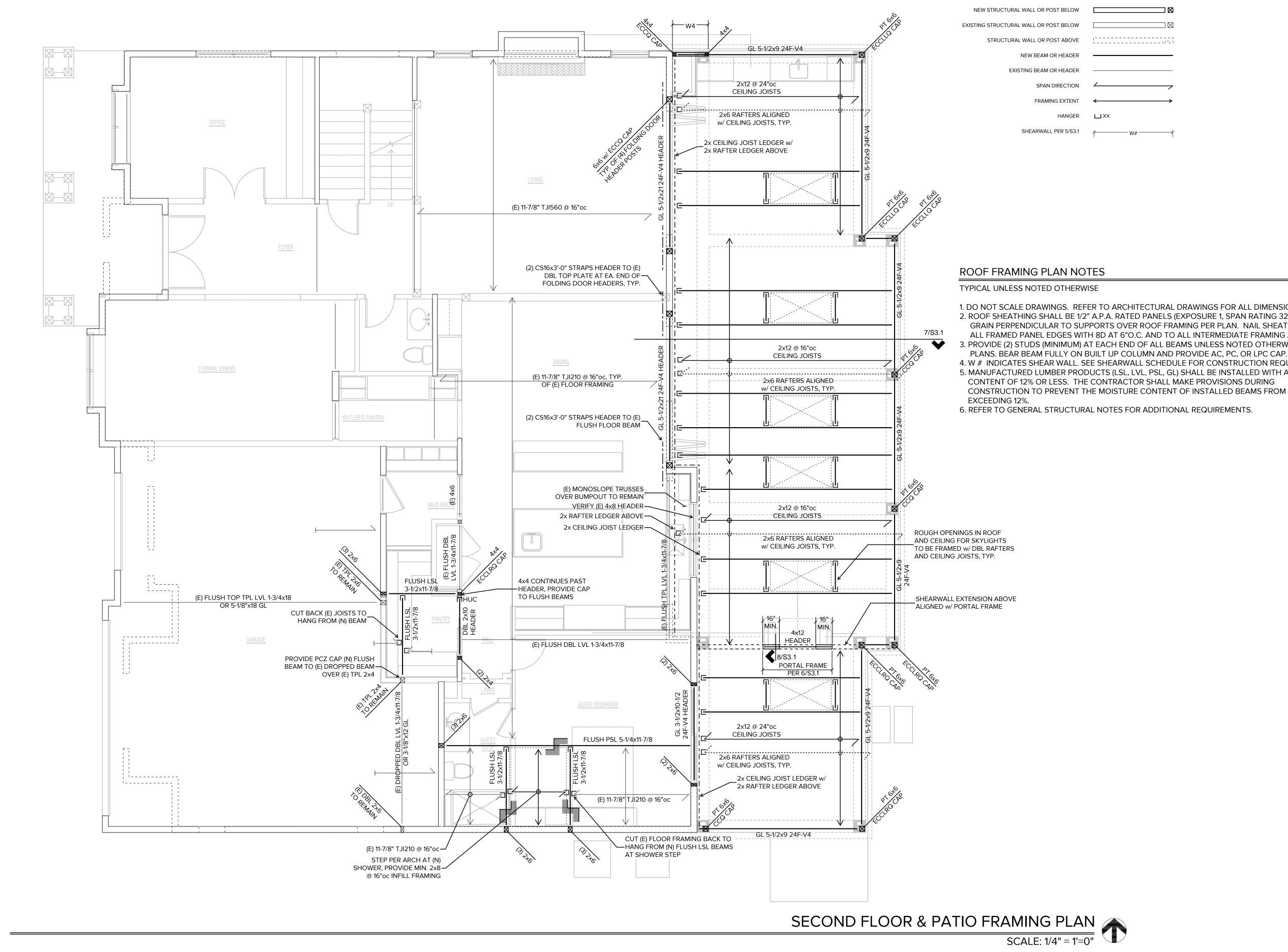
SHEET TITLE:

First Floor Framing & Foundation Plan

SCALE:	
	1/4'' = 1'-0'' U.N.O.
DATE:	
	June 9, 2023
PROJECT NO:	
	10539-2023-03
SHEET NO:	

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SCALE:	1/4" = 1'-0" U.N.O.
DATE:	June 9, 2023
PROJECT NO:	10539-2023-03
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JURISDICTIONAL APPROVAL STAMP:

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS. 2. ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT

ALL FRAMED PANEL EDGES WITH 8D AT 6"O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C. 3. PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP. 4. W # INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE FOR CONSTRUCTION REQUIREMENTS. 5. MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE

CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING

6. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

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DRAWN:	ETC
DESIGN:	

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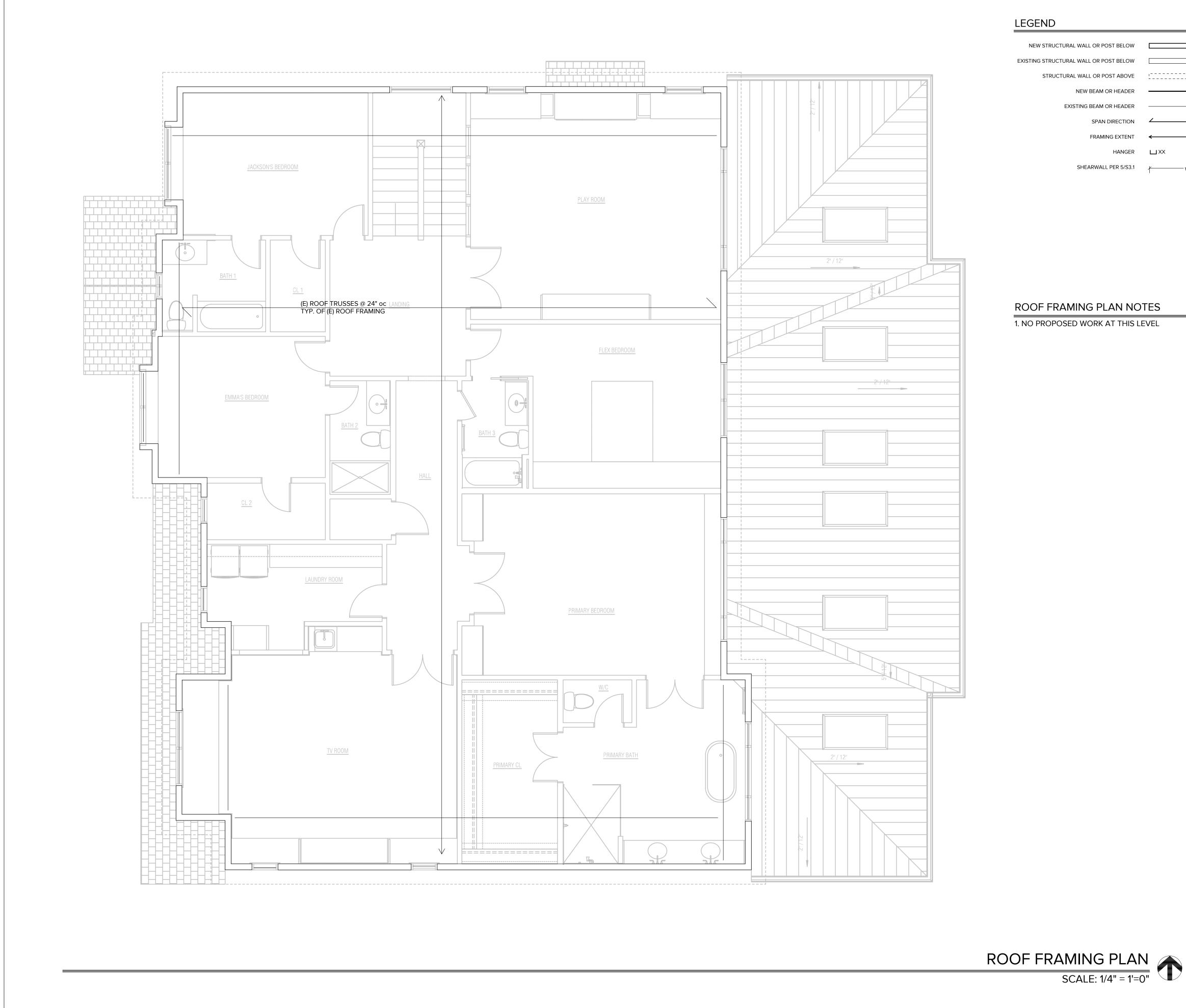
APPROVED:

REVISIONS:

SEATTLE

STRUCTURAL ENGINEERING

2124 Third Avenue, Suite 100



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SPAN DIRECTION

FRAMING EXTENT

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SHEET TITLE:

Roof Framing Plan

SCALE:	
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DATE:	
	June 9, 2023
PROJECT NO:	
	10539-2023-03
SHEET NO:	

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